



The City of Grove City

AGENDA

Board of Zoning Appeals

November 27, 2023

5:30 PM

City Hall

A. CALL TO ORDER/ROLL CALL

B. MOMENT OF SILENCE AND PLEDGE

C. APPROVAL OF MINUTES

1. Approve the minutes from the October 23 meeting of the Board of Zoning Appeals

D. NEW ITEMS

1. **ACTION** Hear the appeal of Eric Kramer, Classic Exteriors representing David Colopy, property owner at 5971 Wynnewood Dr. (Parcel #040-016544) for a variance to Section (Table) 1135.14-III: To encroach the 25' rear building setback by 5' with a covered patio, for a total rear building setback of 20'.
ITEM
2. **ACTION** Hear the appeal of Parks Davis Jr., AIS Renovations representing Joshua Getzinger, property owner at 6031 Willow Aster Glen (Parcel #040-016973) for a variance to Section (Table) 1135.14-III: To encroach the 20' rear building setback by 2' with a cantilevered deck, for a total rear building setback of 18'.
ITEM

E. ADJOURN

**City of Grove City
BOARD OF ZONING APPEALS
REGULAR MEETING
October 23, 2023**

The regular meeting of the Board of Zoning Appeals was called to order by Chair Holinga at 5:30 p.m. at the Grove City Municipal Building, 4035 Broadway.

1. Roll was called. Mr. Brant was excused. The following members were present:

George Holinga Mark "Tony" Haughn

Staff present: Jesse Shamp, representing the Law Director, Chief Building and Zoning Official Michael P. Boso, Laura Scott, Secretary.

Also, present: Anthony Ciminello, Ciminello's Design Build LLC.

2. ***Motion by Chair Holinga to approve the minutes from the September 25 meeting of the Board of Zoning Appeals. Second by Mr. Haughn.***

VOTE: Holinga, YES; Haughn, YES; **APPROVED.**

3. ***Motion by Chair Holinga to amend the agenda to remove Item #4 for 3400 Southwest Blvd., withdrawn by the applicant. Second by Mr. Haughn.***

VOTE: Holinga, YES; Haughn, YES; **APPROVED.**

The representative addressing the board was sworn in. Chair Holinga moved to the next item.

3. Hear the appeal of hear the appeal of Anthony Ciminello, Ciminello's Design Build LLC representing Renate Palazzo, 1716 Pinnacle Club Dr., Parcel No. 040-013760, for three variances:

- 1) Section (Table) 1135.10: To exceed the maximum square footage allowed for an attached and detached garage combined of 900sf, by 572sf for a total combined garage space of 1,472sf.
- 2) Section 1137.08: To exceed the maximum wall height for a detached garage of 8'-0" by 8" for a total wall height of 8'-8".
- 3) Section 1137.08: To exceed the maximum overall height for a detached garage of 13'-0" by 8'-2" for an overall height of 21'-2" to match the house and garage.

Mr. Ciminello explained the first variance was needed because the owner has several cars and would like to have a golf cart too. The design of the garage is such that from the street looking straight ahead it will appear as though the detached garage is also attached. This illusion required that the wall and overall height of the garage be increased slightly.

The board had no questions for the applicant. Chair Holinga asked Mrs. Scott if the adjacent properties were contacted. She said yes, but that she had not received any responses.

Motion by Chair Holinga for variance #1, Section (Table) 1135.10: To exceed the maximum square footage allowed for an attached and detached garage combined of 900sf, by 572sf for a total combined garage space of 1,472sf with one stipulation, to begin construction within 12 months. Second by Mr. Haughn.

VOTE: Holinga, YES; Haughn, YES; **APPROVED.**

Motion by Chair Holinga for Item #2, Section 1137.08: To exceed the maximum wall height for a detached garage of 8'-0" by 8" for a total wall height of 8'-8" with one stipulation, to begin construction within 12 months. Second by Mr. Haughn.

VOTE: Holinga, YES; Haughn, YES; **APPROVED.**

Motion by Chair Holinga for Item #3, Section 1137.08: To exceed the maximum overall height for a detached garage of 13'-0" by 8'-2" for an overall height of 21'-2" to match the house and garage with one stipulation, to begin construction within 12 months. Second by Mr. Haughn.

VOTE: Holinga, YES; Haughn, YES; **APPROVED.**

The applicant was advised of the 21-day waiting period.

There being no new business, the meeting was adjourned at 5:37 p.m.

Adjournment.

George Holinga, Chair

Laura Scott, Secretary



Grove City Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075 (Phone)
614-277-3090 (Fax)
GroveCityOhio.gov

PR 2023000 2494

BOARD OF ZONING APPEALS APPLICATION

TO: Board of Zoning Appeals
4035 Broadway, Grove City, Ohio 43123
Phone: 614-277-3075 - Planning & Zoning Coordinator

Checks Made Payable To: Rec'd
CITY OF GROVE CITY 10-23-23
Filing Fee \$100.00 L.S.

Date: 10/23/23

Application information must be completed or it will be returned and not placed on an agenda until it is complete and re-submitted. One original set of plans and 13 copies (14 total sets) shall be included when submitting this application. Each set shall include this application form and any additional attachments.

The City of Grove City Building Inspector has refused to issue a:

☒ Building Permit ☐ Certificate of Occupancy ☐ Sign Permit

at the following address 5971 Wynnewood Drive Grove City, OH 43123 Parcel # 040-016544-

as it is in violation of : Building Code No. _____ Zoning Code No. _____ Other: _____

I appeal to the Board of Zoning Appeals for a variance that will allow me to do the following:
Customer would like to encroach into required rear 25 ft setback by 5ft. This will be a concrete pad with a patio cover.

Variance to Section 1135.14-111 TO encroach the 25'
rear setback by 5' with a covered rear patio,
for a total rear setback of 20'

Names, Address and Parcel numbers of all adjoining property owners (attach a separate sheet if needed):

JONES JEANNIE MARIE - 5961 WYNNEWOOD DR - Parcel ID: 040-016543-00

~~KANNEH ABU BAKARR - 5981 WYNNEWOOD DR - Parcel ID: 040-016545-00~~

AH4R PROPERTIES LLC - 5962 GRANT RUN ESTATE DR - Parcel ID: 040-012096-00

KLEINSCHMIDT BRIAN A - 5972 GRANT RUN ESTATE DR - Parcel ID: 040-012097-00

PERRY TIFFANY A - 5964 WYNNEWOOD DR - Parcel ID: 040-016555-00

MCLAUGHLIN JOEL - 5972 WYNNEWOOD DR - Parcel ID: 040-016556-00

Are you the applicant or representative? ☐ Applicant ☒ Representative ☐ Property Owner

If you are the representative, who you are representing: David Colopy and Katherine Garretson

Please note* As the representative for this application, all correspondence will be directed to you. If additional space is needed, an addendum may be attached.

Name of Applicant Eric Kramer Company Classic Exteriors

Address 5900 Roche Drive Suite 310-A City/State/Zip Columbus, OH, 43229

Phone 614-316-7755 Fax _____ Email eric@classicexteriorsohio.com

Signature of Applicant [Signature]



Grove City Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075 (Phone)
614-277-3090 (Fax)
GroveCityOhio.gov

BOARD OF ZONING APPEALS STATEMENT OF HARDSHIP

Under Section 1133.02 of the Grove City Codified Ordinances, the Board of Zoning Appeals has the power to grant variances from the Zoning Code or Sign Code. No variance shall be granted unless the Board finds that **all** of the following facts and conditions exist:

- (1) The variance granted will not be contrary to public interest or adversely affect the health or safety of persons residing or working in the vicinity of the proposed development or be injurious to private property or public improvements in the vicinity.
- (2) Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Code or Sign Code to other lands or structures in the same zoning district.
- (3) A literal enforcement of the Zoning Code and Sign Code will result in unnecessary hardship by depriving the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code or Sign Code.
- (4) Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same zoning district.
- (5) The special conditions and circumstances do not result from the action of the applicant.
- (6) The variance so granted does not violate the spirit of the Zoning Code. In granting a variance, the Board may impose such requirements and/or conditions it deems necessary and are not inconsistent with substantial justice and avoiding unreasonable hardship to property owners.

I have read Section 1133.02 and believe that my application for relief satisfies each of the six criteria set forth above in the following ways (attach a separate sheet if needed):

1. This will not adversely affect health or safety
2. Customer only wants to come off of the house by 10 ft. This will encroach into the setback by 5 ft. Will not be encroaching the drainage easement.
3. Customer has a set of wooden steps leading out of the back of the home that are falling apart and they need to be rebuilt for safety.
4. Back of home is hidden by trees to neighbors on the rear of the home.
5. Customer proved a land survey at time of project sale. The required setback was not on it. Customer intended to stay within building code.
6. The variance would fall in line with the spirit of the zoning code. The new structure will be safer and more pleasant to look at.

Signature of Applicant

Date:

11/1/23



The City of Grove City, Ohio
Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075
GroveCityOhio.gov

NOTICE OF CORRECTIONS REQUIRED

October 06, 2023

Reference: Corrections Required for Permit Application #PR20230002494

5971 WYNNEWOOD DR

Dear Classic Exteriors LLC:

Your plans submitted have been reviewed and due to non-compliance with the Ohio Building Code and/or other codes applicable to this project, the Building Division is unable to issue a plan approval without the additional information or corrections indicated below.

Zoning Review (Reviewed By: Justin Taylor)

1. Rear patio roof encroaches into the rear 25ft building setback by 5ft. This setback was established with the Development Standards.

A BZA variance will be required for approval.

Please note:

- I. The above items are not necessarily the only items not in compliance and additional items may be found upon further review of the requested information.
- II. The omission of a reference to any provision of the Ohio Building Code does not nullify nor exempt any structure from such requirements of the Ohio Building Codes.
- III. The review was solely based on the information contained within the submitted drawings and related documents.
- IV. The review may not be sufficient to ensure compliance with the Ohio Building Codes, if the plans are inadequate and/or incomplete.

In order to expedite a re-review, the following must be completed.

1. A revised set of drawings should be resubmitted through the Grove City Building Division permitting portal within 30 days with **ALL** changes circled or clouded in color and each changed item numbered.

If you have questions about this review please feel free to contact the plan reviewer or the Chief Building Official.

Please resubmit your plans and any associated documents at your earliest convenience.

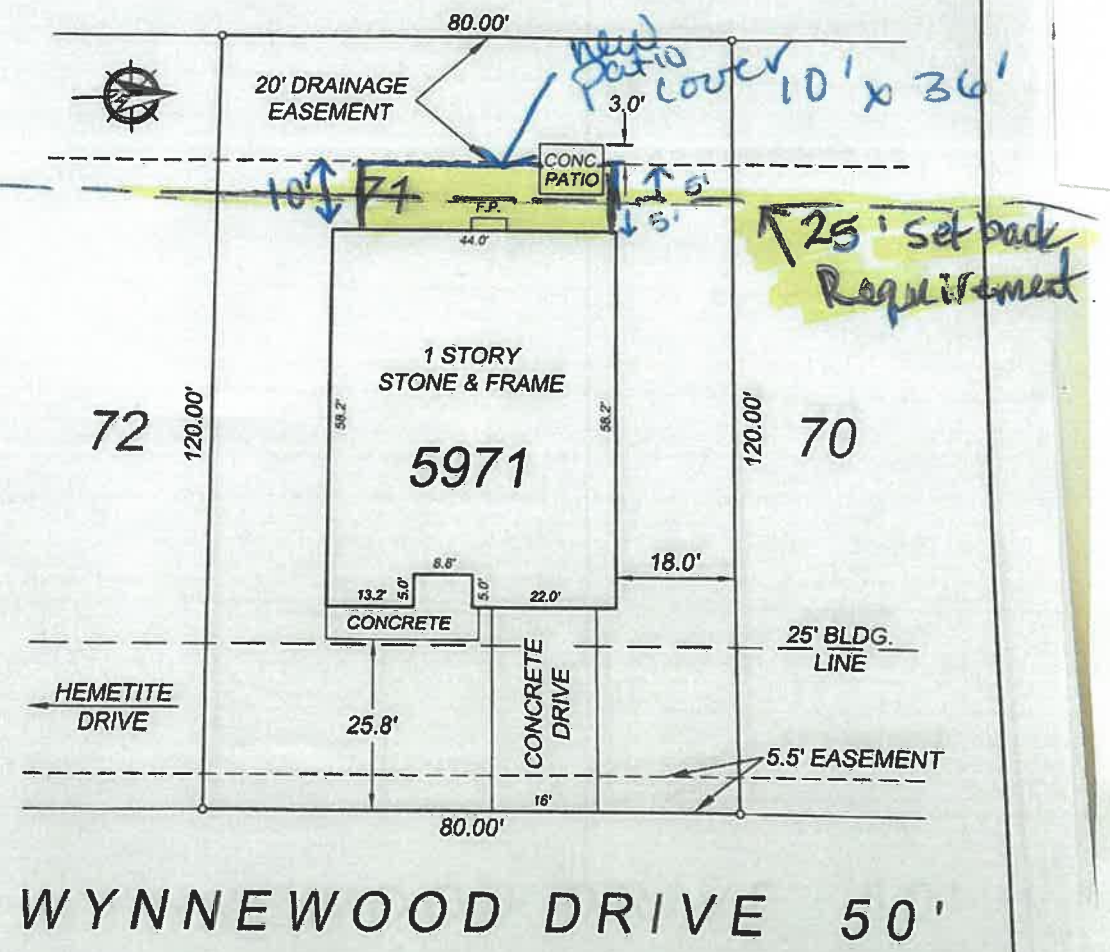
Sincerely,

Grove City Building Division

HOY LAND SURVEYING
1767 McCorkle Blvd #1767
Westerville, Ohio 43086
Phone: 614-679-1186



JOB NUMBER #: 264-2022 S DATE OF DRAWING 01-19-22
CERTIFIED TO TALON TITLE AGENCY, LLC.
LENDER DHI MORTGAGE COMPANY, LTD. BUYER COLOPY & GARRETSON
LEGAL DESC. LOT 71 ~ TRAIL VIEW RUN PHASE 2 P.B. 129 PG. 15 - 17
CITY/TWP. GROVE CITY COUNTY FRANKLIN DRN. JBC CK. SJH DRAWING SCALE 1" = 20'
FEMA INFORMATION: FLOOD ZONE X MAP PANEL INFO 39049C 0408K MAP DATE 06-17-08



ENCROACHMENT INFORMATION
CONCRETE PATIO IN DRAINAGE
EASEMENT BY 3.0'

I / WE HAVE RECEIVED A COPY OF THIS SURVEY
AND FIND THE CONDITIONS ACCEPTABLE.

BUYER / OWNER

BUYER / OWNER

We hereby certify that the foregoing MORTGAGE LOCATION SURVEY was prepared in accordance with Chapter 4733-38, Ohio Administrative Code, and is not a Boundary Survey pursuant to Chapter 4733-37, Ohio Administrative Code. This plat is prepared for mortgage loan and title purposes only and is not to be construed as having been prepared for the owner and is not to be used to erect fences or other structures. Easements shown on this plat were taken from the subdivision plat of record. Additional easements affecting this property may exist.

By Steven J. Hoy



Existing Area, proposed Change



Coopy Revised_003.jpg
Upload Date: Monday, August 28, 2023 7:18 AM
Uploaded By: Eric Kramer



Coopy Revised_001.jpg
Upload Date: Monday, August 28, 2023 7:18 AM
Uploaded By: Eric Kramer



43e9f48e-8289-42f7-bd26-63ef6d854821.jpg
Upload Date: Tuesday, July 11, 2023 9:53 AM
Uploaded By: Jack Bartel



e2bac4a7-4d92-41f1-b743-e9a334ca5209.jpg
Upload Date: Tuesday, July 11, 2023 9:53 AM
Uploaded By: Jack Bartel

TRAIL VIEW RUN HOMEOWNERS' ASSOCIATION, INC.

NOTICE OF DESIGN REVIEW BOARD ACTION

TO: David Colopy and Katherine Garretson via e-mail sent to dacolopy@gmail.com
RE: 5971 Wynnewood Drive - Design Review Application
TYPE: Patio
DATE: August 29, 2023

Trail View Run has received and processed your Application for approval of one or more desired Improvements at your property located at 5971 Wynnewood Drive . A copy of your Application has been saved electronically, and is available to you online through Caliber Portal if you need to refer to it. Your Application is hereby:

CONDITIONALLY APPROVED, subject to the following:

- All conditions stated in the attached Schedule GC (“General Conditions”)
- All conditions stated in other attached Schedule(s): M.

IT IS IMPERATIVE THAT YOU **READ** ALL ATTACHMENTS AND **COMPLY** WITH **ALL** CONDITIONS STATED IN THE ATTACHMENTS, because if you proceed with installing Improvements that do not comply with the requirements contained in the attachments, you may have to remove and/or relocate and/or make other changes to the Improvement(s) you install, and you may suffer other consequences as a result of being in violation of the requirements for your community. If you have questions after reading the attachments, contact the Omni’s Help Desk at 1-877-405-1089, or send an e-mail with your questions to tmoody@omnihoa.com (make sure you include your name and the address of the property where the Improvements are proposed to be located).

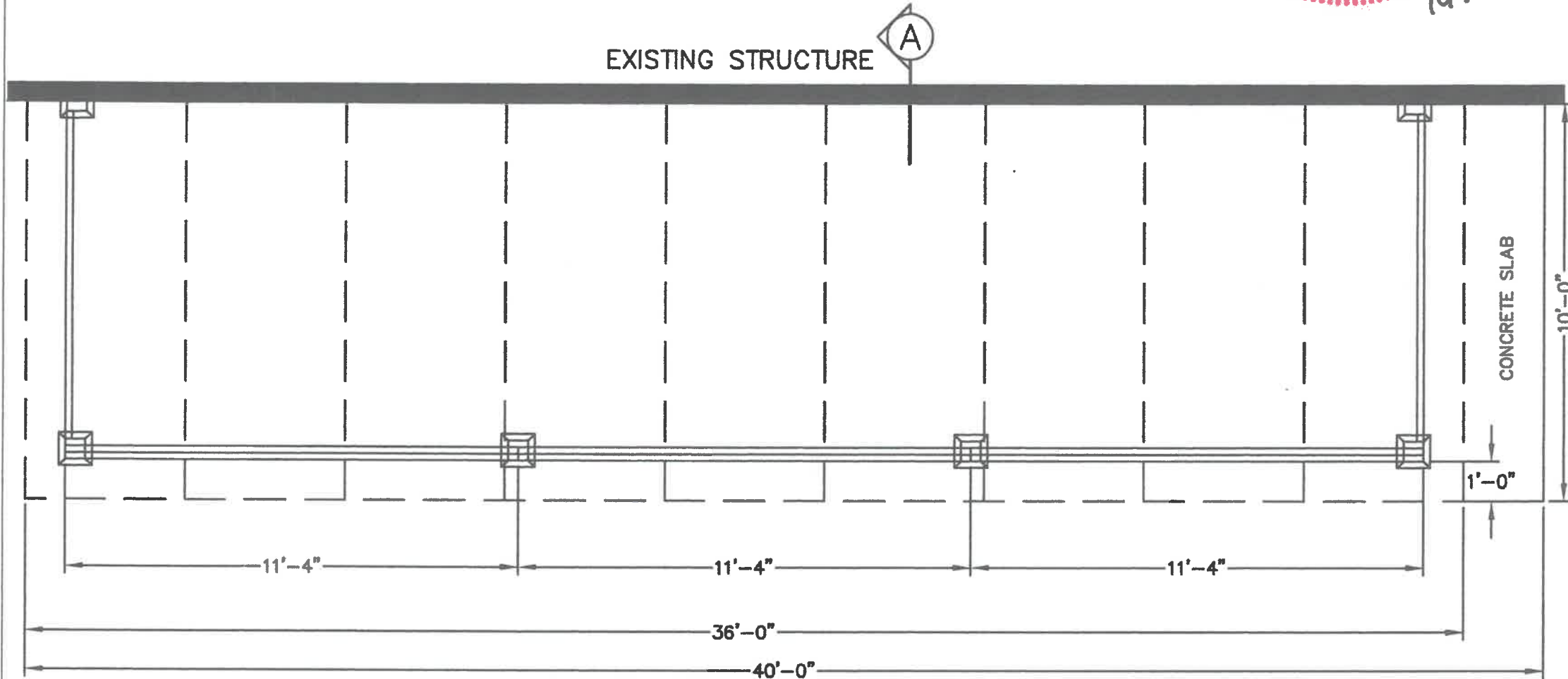
Omni Community Association Managers, LLC
Managing Agent on behalf of the Design Review Board for Trail View Run

SCHEDULE GC
(GENERAL CONDITIONS)

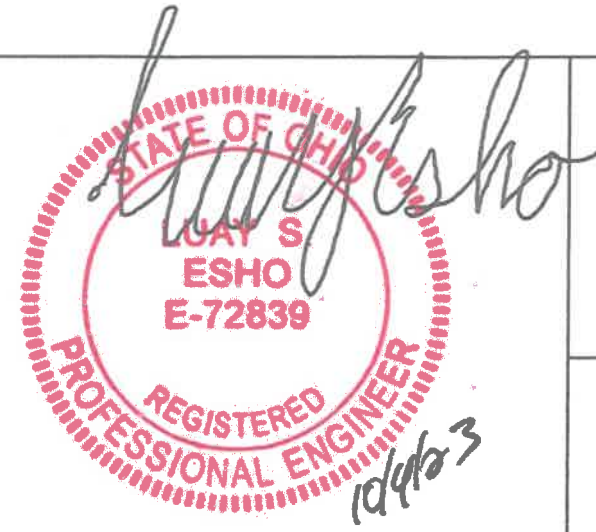
1. Association approval is not a substitute for any governmentally required approvals and/or permits (if any). It is your responsibility to verify that the proposed Improvements are permitted under applicable zoning regulations, and if applicable, to obtain a building or other permit if required, and to comply with any conditions imposed on any such governmental approvals.
2. If your Improvements extend into or over easement areas (whether or not shown on your submittal), Association approval does not relieve you of any obligations you have regarding such easements, and the decision to locate Improvements in an easement area, if made, is made at your own risk.
3. If there are any No-Build, Preservation, or Non-disturbance Zones on your property, Association approval is not intended or does not act to approve the construction of any improvement in such zone(s) unless specifically indicated above.
4. Your Improvements may not impede the natural flow of surface water across your property and to or from adjacent lots.
5. You are encouraged to contact your local underground utilities protection service (**by phone, dial 811**) prior to any digging to minimize the risk of utility line conflicts.
6. If your Application discloses an intention to install "landscaping" on your property, but specific details are not provided on your Application, Association approval is limited to the planting of perennials, annuals and other low-growing plants, including shrubs and bushes. All other landscaping must be specifically submitted for and approved.
7. Association approval relates only to those Improvements as specifically *described in AND depicted* on your Application materials. You are responsible for the accuracy and correctness of measurements, scale, alignment, depictions and other details contained in your Application and supporting materials, and Association Approval is based upon the exact accuracy thereof. You may be responsible for removing or relocating an improvement if, for example, stated measurements and pictorial information in your submittal are not consistent with one another. No other Improvements, whether or not depicted in your application, are affected by this approval. No other Improvements, whether or not depicted in your application, are affected by this approval. Unless multiple colors are noted in your Application, Association approval is based upon an understanding that only one finish color will apply to each component of your Improvement(s).
8. All approved Improvements must be completed within forty-five (45) days of the date on which materials therefor arrive on site, with noise-generating activities to be performed only after 7:30 a.m. and before sunset. With respect to any Applications approved for multiple Improvements or phased construction, each Improvement or phase of construction shall be subject to a separate 45-day completion requirement for each such Improvement or phase, as appropriate. *If construction/installation of approved improvements is not commenced within one (1) year of the date of approval, the approval will lapse and a renewal request will be required, and a new Application might need to be submitted.*

UNDER NO CIRCUMSTANCES IS ANY APPROVAL GRANTED FOR ANY IMPROVEMENT TO BE ERECTED THAT IS OUTSIDE OF THE BOUNDARIES OF THE APPLICANT'S PROPERTY

Today's Date: OCT 04, 2023



FRAME COLOR: WHT
HEIGHTS: 13'-8" / 10'-8"
POST STYLE: FLORENTINE



20400 HALL RD.
CLINTON TWP., MI 48038

LUAY ESHO P.E.
20400 HALL RD.
CLINTON TWP. MI, 48038
PH: (800) 344-8366
PROFESSIONAL ENGINEER
OH Lic. #E-72839

JOB NAME: COLOPY, DAVID & KATIE
5971 WYNEWOOD DR.
GROVE CITY, OH 43123

DRAWN BY:
PHIL TARAVELLA

DATE:
08/30/23

REV:
A

SIZE:
.

APPROVED BY

DATE:

DATE:

PART NUMBER:
PAWH-ACLP10X36-23W2848

DEALER:
CLASS-OH

SCALE:
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APPROVED BY

DATE:

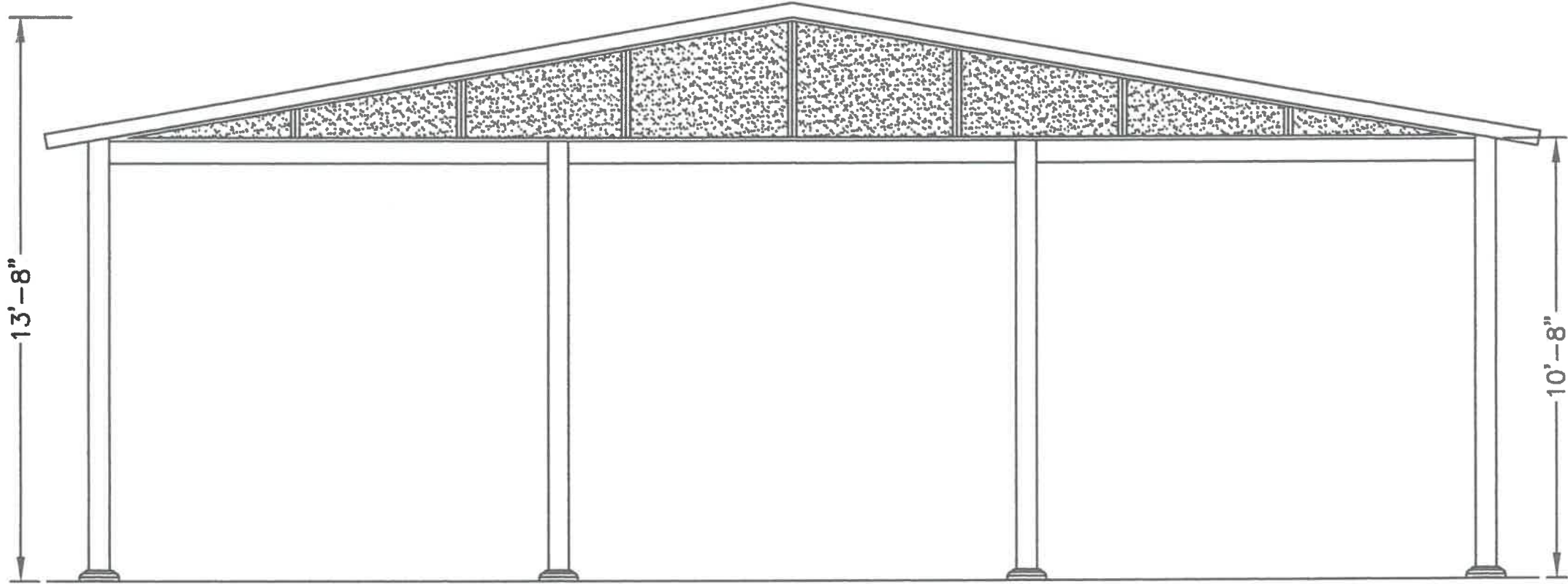
DATE:

DESCRIPTION: 10X36 FLORENTINE PAVILION

FILE NAME: 23W2848

SHEET: 2

Today's Date: OCT 04, 2023



ELEVATIONS



JOB NAME: COLOPY, DAVID & KATIE
5971 WYNNEWOOD DR.
GROVE CITY, OH 43123

PART NUMBER:
PAWH-ACLP10X36-23W2848

DESCRIPTION: 10X36 FLORENTINE PAVILION

20400 HALL RD.
CLINTON TWP., MI 48038

DRAWN BY:
PHIL TARAVELLA

DATE:
08/30/23

APPROVED BY

DATE:

REV:
A

SIZE:

DEALER:
CLASS-OH

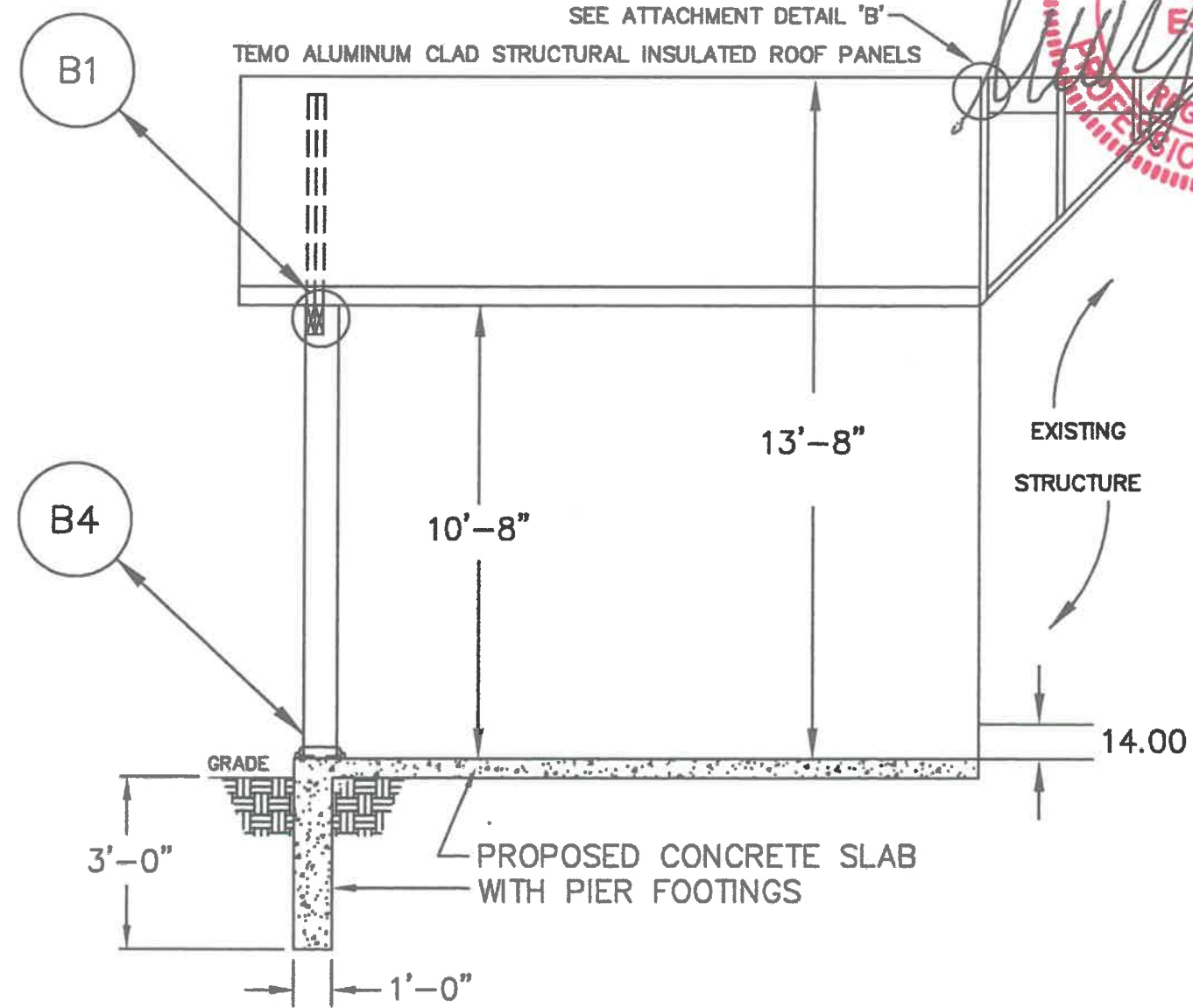
SCALE:

FILE NAME: 23W2848

SHEET: 3

LUAY ESHO P.E.
20400 HALL RD.
CLINTON TWP. MI, 48038
PH: (800) 344-8366
PROFESSIONAL ENGINEER
OH Lic. #E-72839

Today's Date: OCT 04, 2023



SECTION 'A'

ROOF PANELS: 4 1/4", 0.032, 2#, ROOF LOAD: 20 P.S.F.



20400 HALL RD.
CLINTON TWP., MI 48038

LUAY ESHO P.E.
20400 HALL RD.
CLINTON TWP. MI, 48038
PH: (800) 344-8366
PROFESSIONAL ENGINEER
OH Lic. #E-72839

JOB NAME: COLOPY, DAVID & KATIE
5971 WYNEWOOD DR.
GROVE CITY, OH 43123

REV: A
SIZE: .
DRAWN BY: PHIL TARAVELLA
DATE: 08/30/23

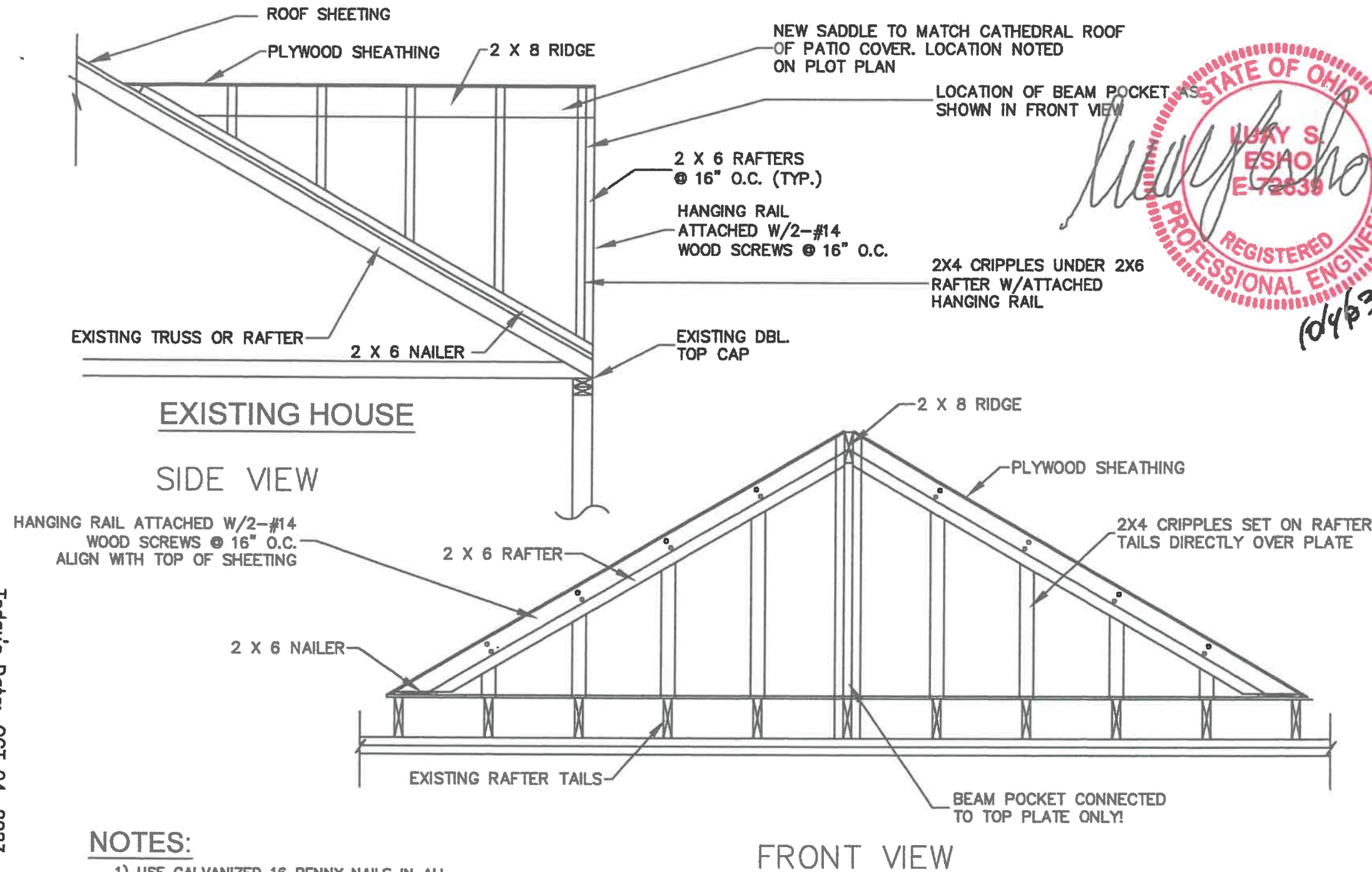
PART NUMBER:
PAWH--ACLP10X36--23W2848

DEALER: CLASS-OH
SCALE: .
APPROVED BY: .
DATE: .

DESCRIPTION: 10X36 FLORENTINE PAVILION

FILE NAME: 23W2848
SHEET: 4

Today's Date: OCT 04, 2023



NOTES:

- 1) USE GALVANIZED 16 PENNY NAILS IN ALL LOCATIONS
- 2) NAIL 2 x 6 NAILER INTO RAFTERS AT BASE OF SADDLE
- 3) NAIL 2 x 6 RAFTER INTO 2 x 6 NAILER
- 4) INSTALL 2 x 4 CRIPPLE FROM SADDLE RAFTER TO EXISTING ROOF SURFACE DIRECTLY OVER EACH TRUSS
- 5) COVER W/WATER & ICE PROTECTION CUT BACK VALLEY & COVER WITH WATER AND ICE PROTECTION

DETAIL 'B'

NOT TO SCALE

SADDLE DETAIL WITH SOFFIT REMOVED



JOB NAME: COLOPY, DAVID & KATE
5971 WYNNEWOOD DR.
GROVE CITY, OH 43123

PART NUMBER:
PAWH-ACLP10X36-23W2848

DESCRIPTION: 10X36 FLORENTINE PAVILION

20400 HALL RD.
CLINTON TWP., MI 48038

LUAY ESHO P.E.
20400 HALL RD.
CLINTON TWP., MI, 48038
PH: (800) 344-8366
PROFESSIONAL ENGINEER
OH Lic. #E-72839

REV: A

DEALER:
CLASS-OH

DRAWN BY:
PHIL TARAVELLA

APPROVED BY

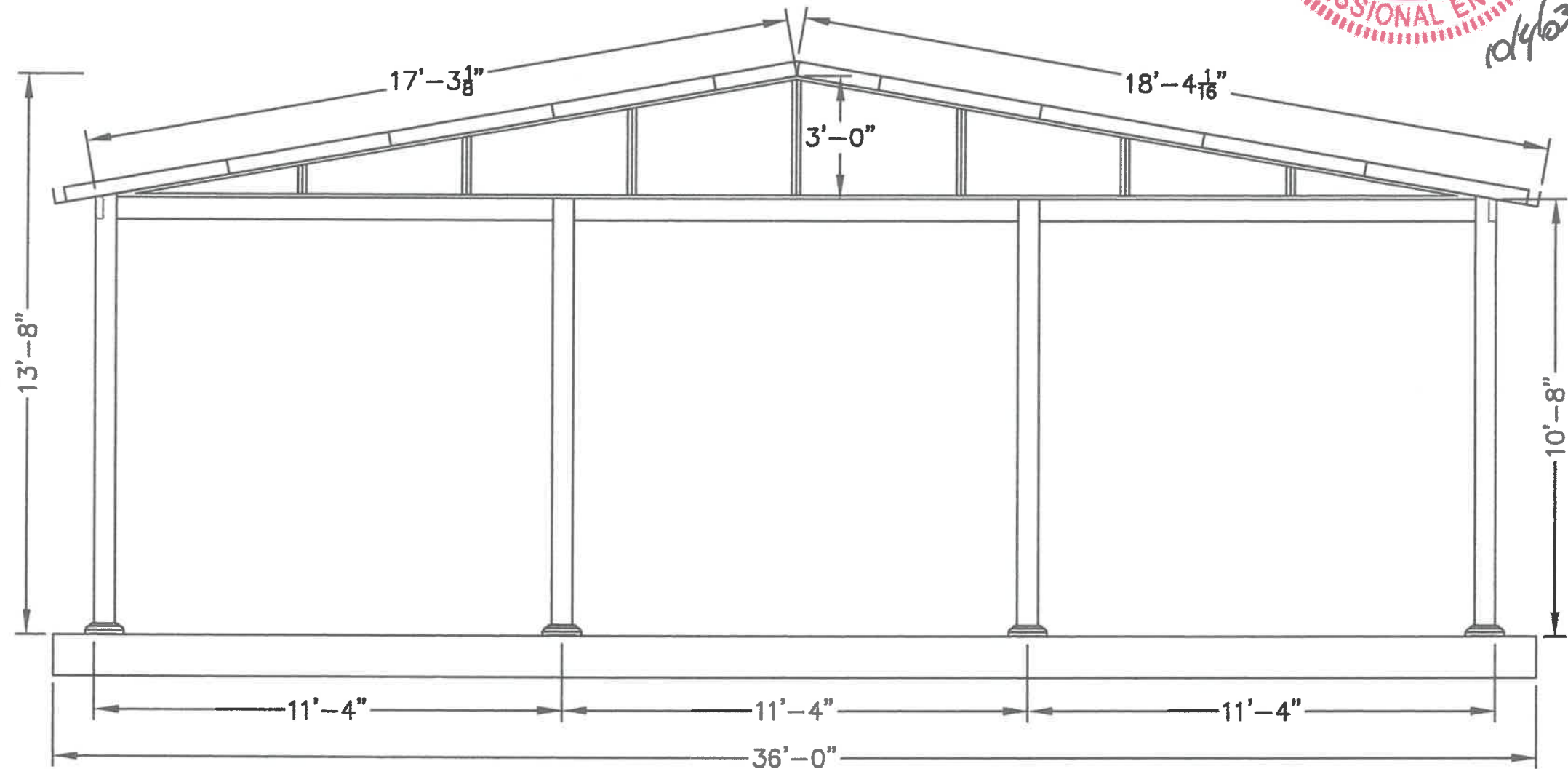
DATE: 08/30/23

DATE:

FILE NAME: 23W2848

SHEET: 5

Today's Date: OCT 04, 2023



NOTE: DIMENSIONS ON THIS VIEW ARE FOR MATERIAL ESTIMATING ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES

Luay S. Esho
STATE OF OHIO
LUAY S. ESHO
E-72839
REGISTERED PROFESSIONAL ENGINEER
10/4/23



JOB NAME: COLOPY, DAVID & KATIE
5971 WYNNEWOOD DR.
GROVE CITY, OH 43123

PART NUMBER:
PAWH-ACLP10X36-23W2848

DESCRIPTION: 10X36 FLORENTINE PAVILION

20400 HALL RD.
CLINTON TWP., MI 48038

DRAWN BY:
PHIL TARAVELLA

SIZE:

REV:
A

DEALER:
CLASS-OH

DATE:
08/30/23

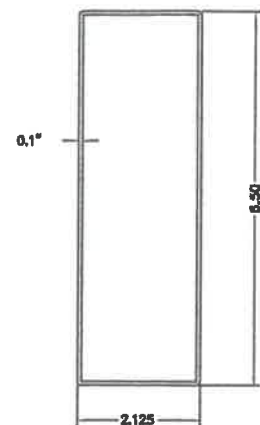
APPROVED BY

SCALE:

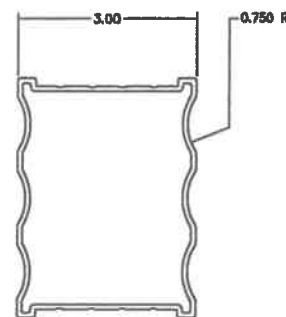
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SHEET: 6

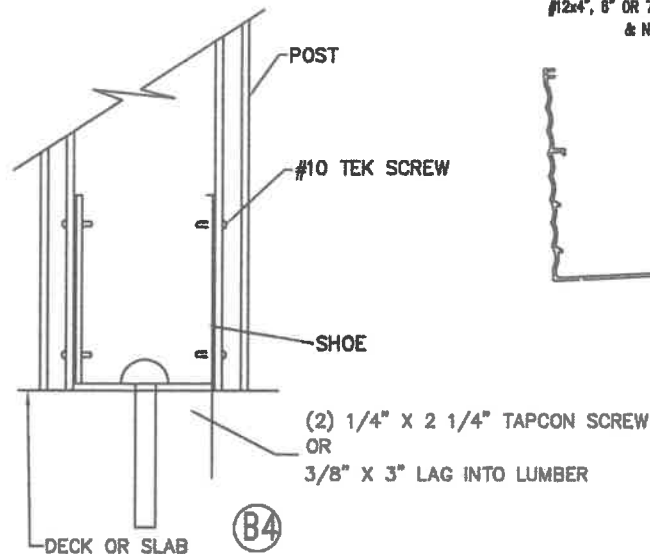
LUAY ESHO P.E.
20400 HALL RD.
CLINTON TWP. MI, 48038
PH: (800) 344-8368
PROFESSIONAL ENGINEER
OH Lic. #E-72839



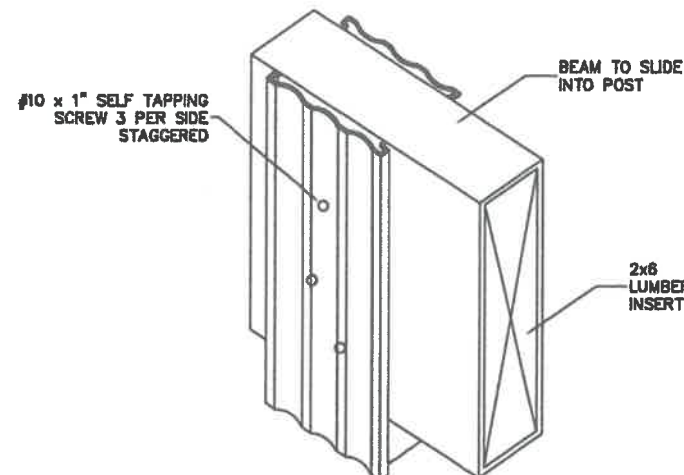
2x7 DECO BEAM
(16517) (30)



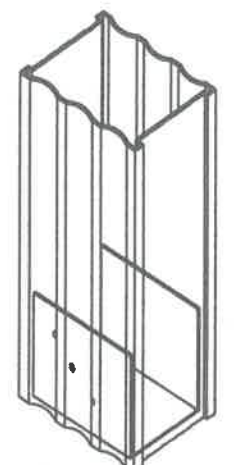
PATIO POST
(16543) (31)



SLAB CONNECTION SIDE VIEW (B4)

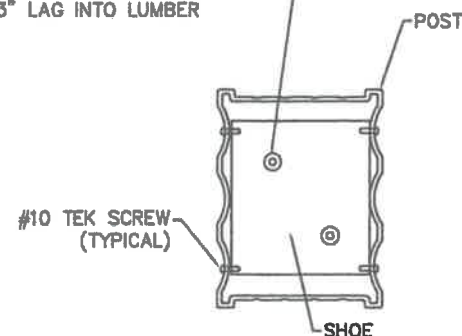


POST/BEAM CONNECTION

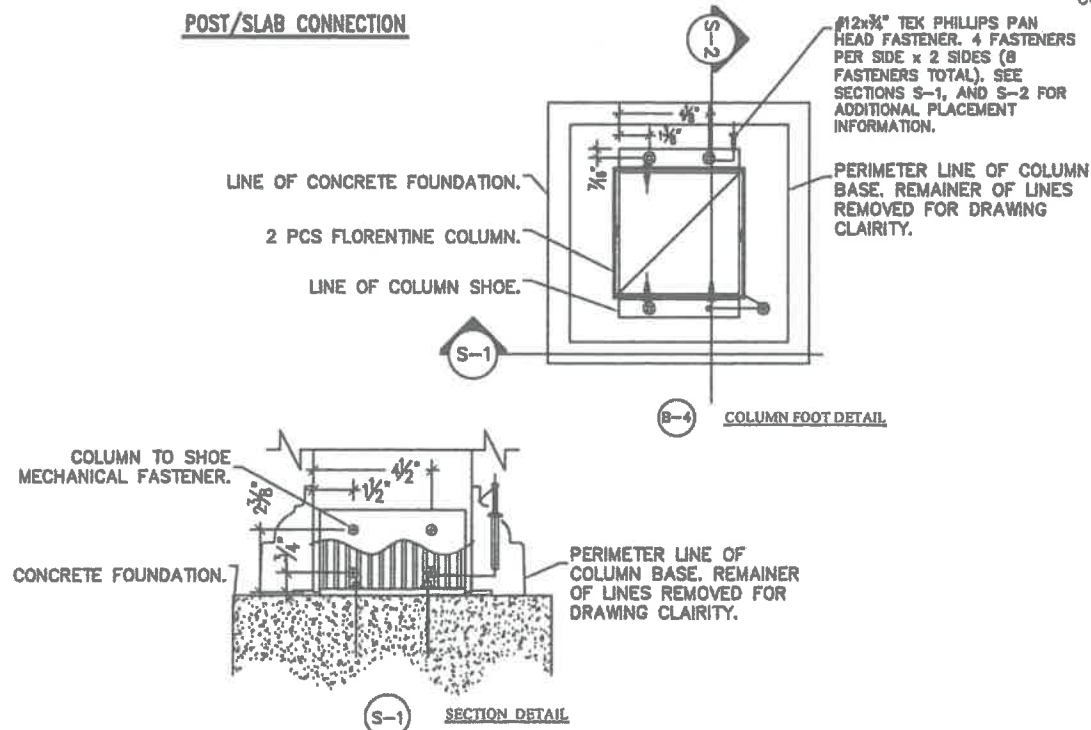


POST/SLAB CONNECTION

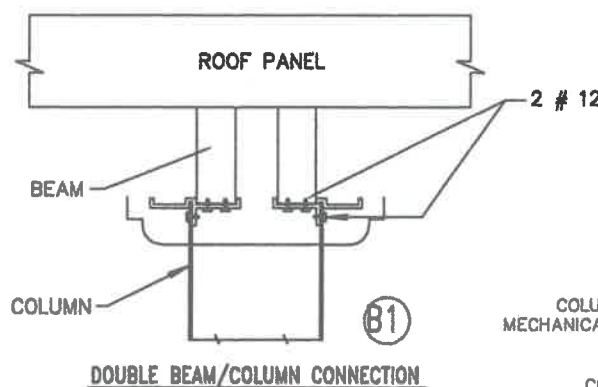
(2) 1/4" X 2 1/4" TAPCON SCREW
OR
3/8" X 3" LAG INTO LUMBER



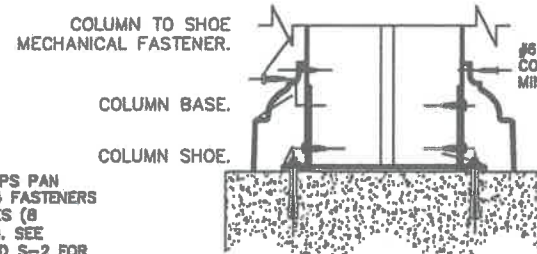
SLAB CONNECTION TOP VIEW



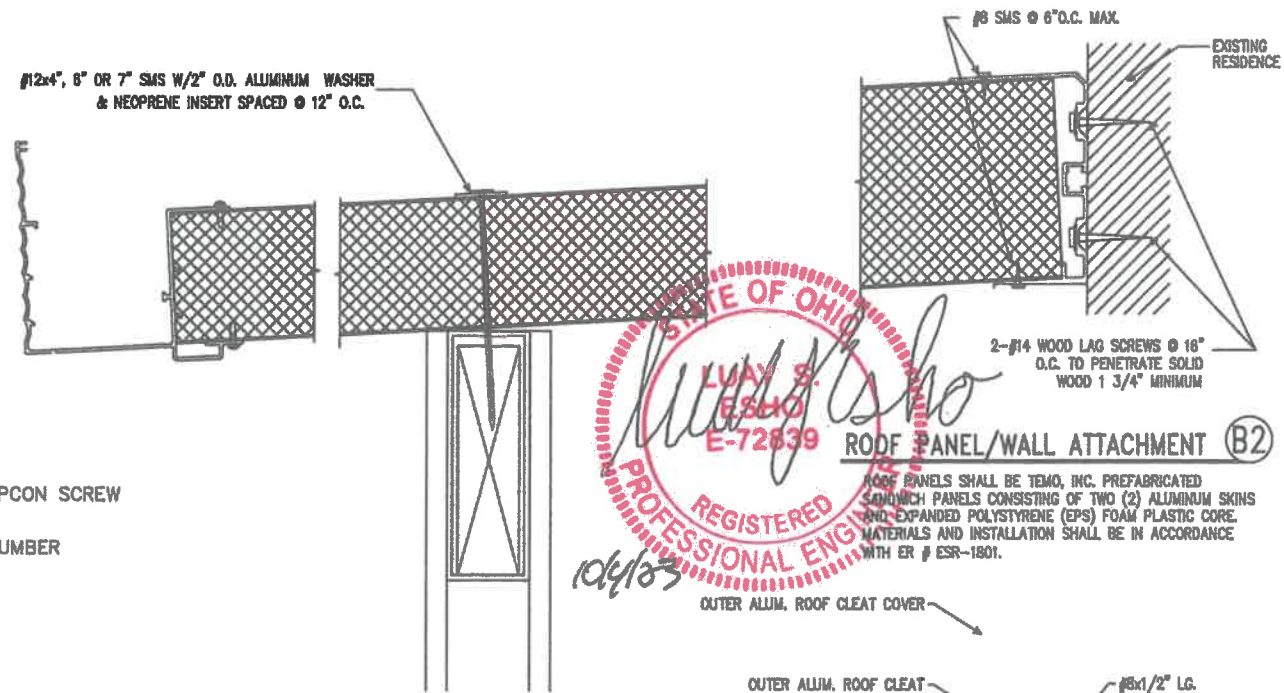
C-1 SECTION DETAIL



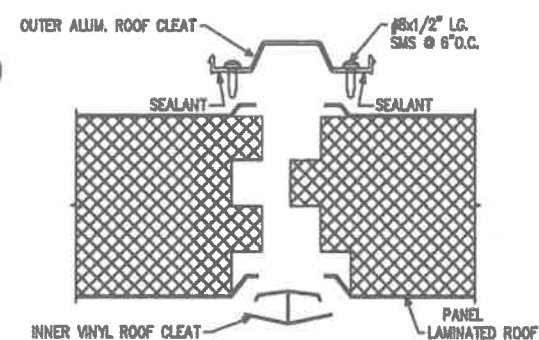
DOUBLE BEAM/COLUMN CONNECTION (B1)



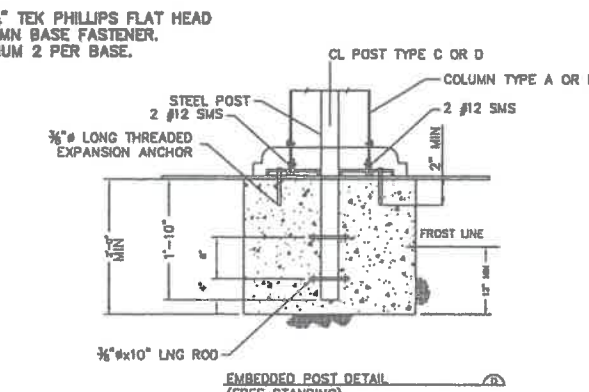
C-2 SECTION DETAIL



ROOF PANEL TO BEAM ATTACHMENT (B1)



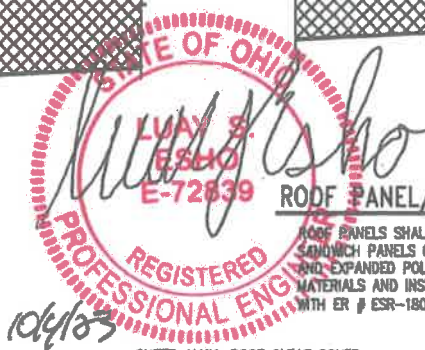
ROOF PANEL SPLICE (B3)



EMBEDDED POST DETAIL (FREE STANDING)

SPAN TABLE FOR BEAM

MAXIMUM POST AND FOOTING SPACING	30 PSF SNOW LOAD, 115 MPH WIND, EXP C			
	ROOF SPAN			
	10' FREE SPAN	13' FREE SPAN	16' FREE SPAN	18' FREE SPAN
SINGLE BEAM	12'-0"	11'-0"	10'-0"	9'-8"
DOUBLE BEAM	15'-0"	13'-8"	12'-10"	12'-4"
	30 PSF SNOW LOAD, 115 MPH WIND, EXP C			
	ROOF PANEL SPAN			
	T-3-2-32	T-4.25-2-32	T-6-2-32	
	12'-2"	15'-8"	18'-6"	



ROOF PANEL/WALL ATTACHMENT (B2)

ROOF PANELS SHALL BE TEMO, INC. PREFABRICATED SANDWICH PANELS CONSISTING OF TWO (2) ALUMINUM SKINS AND EXPANDED POLYSTYRENE (EPS) FOAM PLASTIC CORE. MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH ESR-1801.

20400 HALL ROAD - CLINTON TOWNSHIP - MICHIGAN 48038
586-286-0410 800-344-8366

POST AND BEAM
CONFIGURATION

DATE: OCT 04, 2023
LUAY ESHO P.E.
20400 HALL RD
CLINTON TWP, MI 48038
PH: (508) 344-8366
PROFESSIONAL ENGINEER
OH Lic. #E-72839
DRAWN BY:
CUSTOMER:
CLASS-0H
FILE NAME:
PAT 030-40_1_FLORENTINE
SHT. NO.:
1 OF 1

VOID IF SUBMITTED AFTER
APRIL 1, 2024
TOMO, INC. MAINTAINS THE REPORTS
LISTED ACROSS THE TOP OF THESE
PAGES. PLEASE REFER TO THE
NOTES ON PAGE 41EM02
FOR ANY ADDITIONAL INFORMATION
CONCERNING THESE REPORTS.
WHERE REQUIRED THESE PLANS HAVE BEEN
SIGNED AND SEALED BY A PROFESSIONAL
ENGINEER. ONLY AN ORIGINAL SIGNATURE
WITH A RED NET STAMP OR AN EMBOSSED
SEAL INDICATE THE VALIDITY OF THAT
SIGNATURE.



Grove City Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075 (Phone)
614-277-3090 (Fax)
GroveCityOhio.gov

BOARD OF ZONING APPEALS APPLICATION

RECEIVED
OCT 27 2023

20230002760

TO: Board of Zoning Appeals
4035 Broadway, Grove City, Ohio 43123
Phone: 614-277-3075 - Planning & Zoning Coordinator

Checks Made Payable To:
CITY OF GROVE CITY
Filing Fee \$100.00

Date: 10.25.23

Application information must be completed or it will be returned and not placed on an agenda until it is complete and re-submitted. One original set of plans and 13 copies (14 total sets) shall be included when submitting this application. Each set shall include this application form and any additional attachments.

The City of Grove City Building Inspector has refused to issue a:

☒ Building Permit ☐ Certificate of Occupancy ☐ Sign Permit

at the following address 6031 WILLOW ASTER GLEN Grove City, OH 43123 Parcel # 040-016973-0

as it is in violation of: Building Code No. Zoning Code No. Other:

I appeal to the Board of Zoning Appeals for a variance that will allow me to do the following:

VARIANCE TO SECTION/TABLE 1135.14 III TO ENROACH
THE REAR BUILDING SETBACK OF 20' BY 2' W/ THE
CANTELLER OF A DECK FOR A TOTAL REAR
SET BACK OF 18'.

Names, Address and Parcel numbers of all adjoining property owners (attach a separate sheet if needed):

040-016974, VINCE NARTY @ 6023 WILLOW ASTER GLEN

040-016706, JACOB WELSH @ 6039 WILLOW ASTER GLEN

Are you the applicant or representative? ☒ Applicant ☐ Representative ☐ Property Owner

If you are the representative, who you are representing:

Please note* As the representative for this application, all correspondence will be directed to you. If additional space is needed, an addendum may be attached.

Name of Applicant PARKS DAVIS JR. Company AMERICAN INDUSTRIALIZED SET
Address 4394 BROADWAY City/State/Zip GIC, OH, 43123
Phone 614-266-0224 Fax Email ACCOUNTING@ASRENOVATIONS.COM

Signature of Applicant Parks Davis Jr.



Grove City Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075 (Phone)
614-277-3090 (Fax)
GroveCityOhio.gov

BOARD OF ZONING APPEALS STATEMENT OF HARDSHIP

Under Section 1133.02 of the Grove City Codified Ordinances, the Board of Zoning Appeals has the power to grant variances from the Zoning Code or Sign Code. No variance shall be granted unless the Board finds that **all** of the following facts and conditions exist:

- (1) The variance granted will not be contrary to public interest or adversely affect the health or safety of persons residing or working in the vicinity of the proposed development or be injurious to private property or public improvements in the vicinity.
- (2) Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Code or Sign Code to other lands or structures in the same zoning district.
- (3) A literal enforcement of the Zoning Code and Sign Code will result in unnecessary hardship by depriving the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code or Sign Code.
- (4) Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same zoning district.
- (5) The special conditions and circumstances do not result from the action of the applicant.
- (6) The variance so granted does not violate the spirit of the Zoning Code. In granting a variance, the Board may impose such requirements and/or conditions it deems necessary and are not inconsistent with substantial justice and avoiding unreasonable hardship to property owners.

I have read Section 1133.02 and believe that my application for relief satisfies each of the six criteria set forth above in the following ways (attach a separate sheet if needed):

1. Home backs to A Wooded Reserve with no Homes.
Approval will not affect safety or property view for any neighbor
2. Understood that approval does not confer to any special privilege
3. Said lot is 135' D x 74.68' W with a Ranch House Design
Not allowing for outdoor deck to exceed 10' without the 2' variance. 10 foot does not work for the space for usable area.
4. Being a Ranch Home plan, the footprint uses more of the rear yard. This causes the request for 2' variance rear lot in backing to wooded reserve.
5. The home footprint is a ranch which takes up more land area, not allowing for usable space
6. Deck does not effect the rear yard set back just the covered area which is 12' wide

Signature of Applicant

PARKS L. DAVIS JR.

Date: 10.25.23



Grove City Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075 (Phone)
614-277-3090 (Fax)
GroveCityOhio.gov

App # PR 20230002539

EASEMENT ENCROACHMENT

PROPERTY OWNER INFORMATION (MUST BE COMPLETED BY PROPERTY OWNER)

Name Joshua Getzinger
Address 6031 Willow Aster Glen Grove City, OH 43123 Lot 125
Subdivision Farmstead Zoning _____
Phone 419-261-0037 Email getzinger4@gmail.com
Builder ATS Renovations / American Industrialized Set
OWNER SIGNATURE A.R. [Signature] Date 10/19/23
ATS Renovations

THIS IS NOT A PERMIT. A PERMIT MUST BE OBTAINED FROM THE BUILDING DIVISION.

EASEMENT TYPE

- ☐ Storm Sewer ☐ Electric
☐ Sanitary Sewer ☐ Water
☒ Other Set Back (Rear Yard)

TYPE OF ENCROACHMENT

- ☐ Driveway ☐ Swing Set / Play Equipment
☒ Deck / Patio ☐ Shed / Storage Building
☐ Other _____

Provide/attach a detailed sketch of the property and the location of existing easement with encroaching item below:

See Attached

PLEASE NOTE: if the need arises for repair work in this easement, any removal, damage or replacement of anything within the easement will be at the expense of the homeowner.

- ☐ APPROVED
☐ NOT APPROVED

City of Grove City Service Director

Date

Revised 4/2019



The City of Grove City, Ohio
Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075
GroveCityOhio.gov

NOTICE OF CORRECTIONS REQUIRED

October 18, 2023

Reference: Corrections Required for Permit Application #PR20230002539

6031 WILLOW ASTER GLN

Dear American Industrialized Set:

Your plans submitted have been reviewed and due to non-compliance with the Ohio Building Code and/or other codes applicable to this project, the Building Division is unable to issue a plan approval without the additional information or corrections indicated below.

Zoning Review (Reviewed By: Justin Taylor)

1. Rear deck encroaches into rear 20ft building setback by 2ft, BZA variance approval needed. You can now apply for BZA variance.

Please note:

- I. The above items are not necessarily the only items not in compliance and additional items may be found upon further review of the requested information.
- II. The omission of a reference to any provision of the Ohio Building Code does not nullify nor exempt any structure from such requirements of the Ohio Building Codes.
- III. The review was solely based on the information contained within the submitted drawings and related documents.
- IV. The review may not be sufficient to ensure compliance with the Ohio Building Codes, if the plans are inadequate and/or incomplete.

In order to expedite a re-review, the following must be completed.

1. A revised set of drawings should be resubmitted through the Grove City Building Division permitting portal within 30 days with **ALL** changes circled or clouded in color and each changed item numbered.

If you have questions about this review please feel free to contact the plan reviewer or the Chief Building Official.

Please resubmit your plans and any associated documents at your earliest convenience.

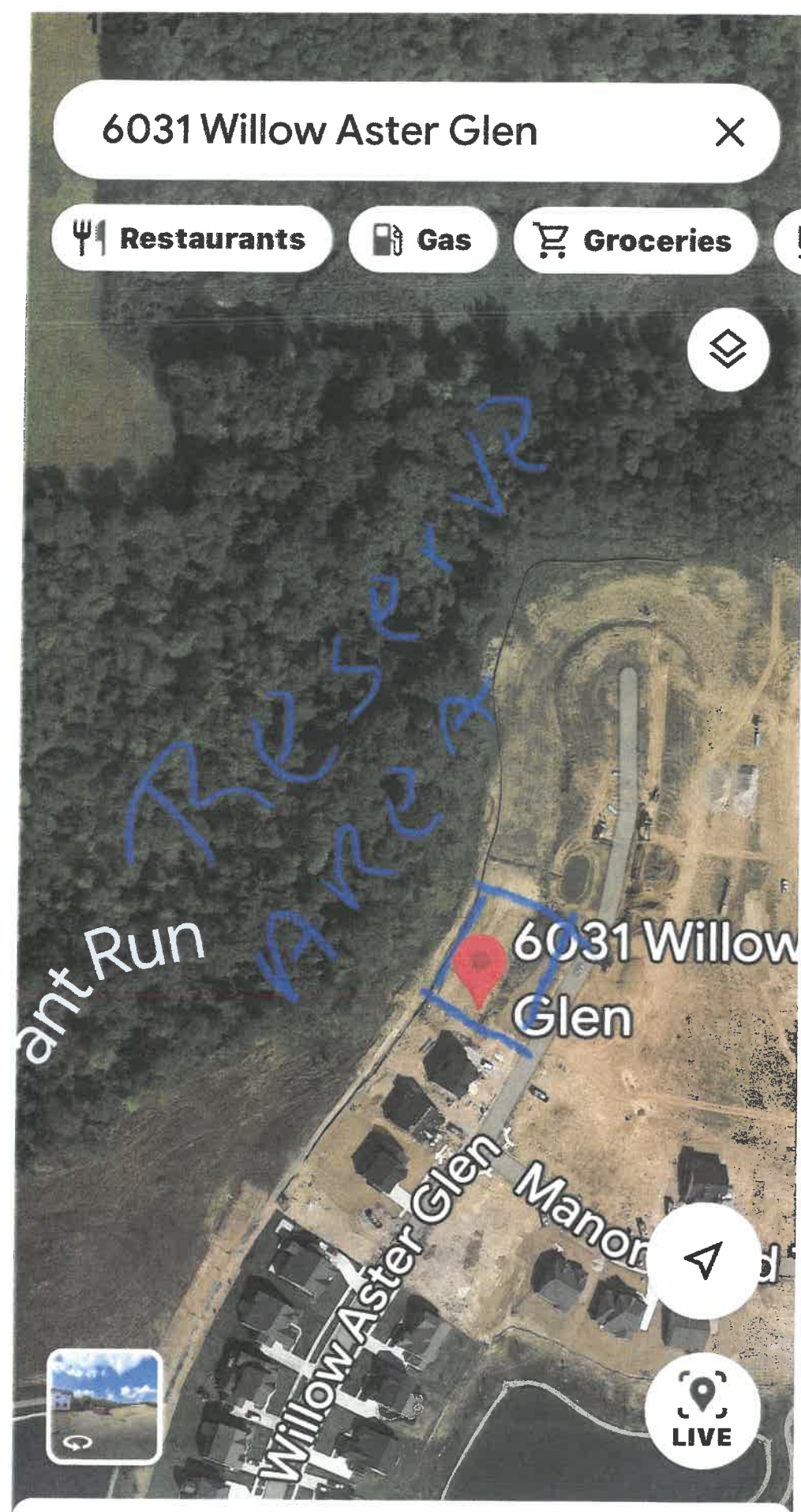
Sincerely,

Grove City Building Division



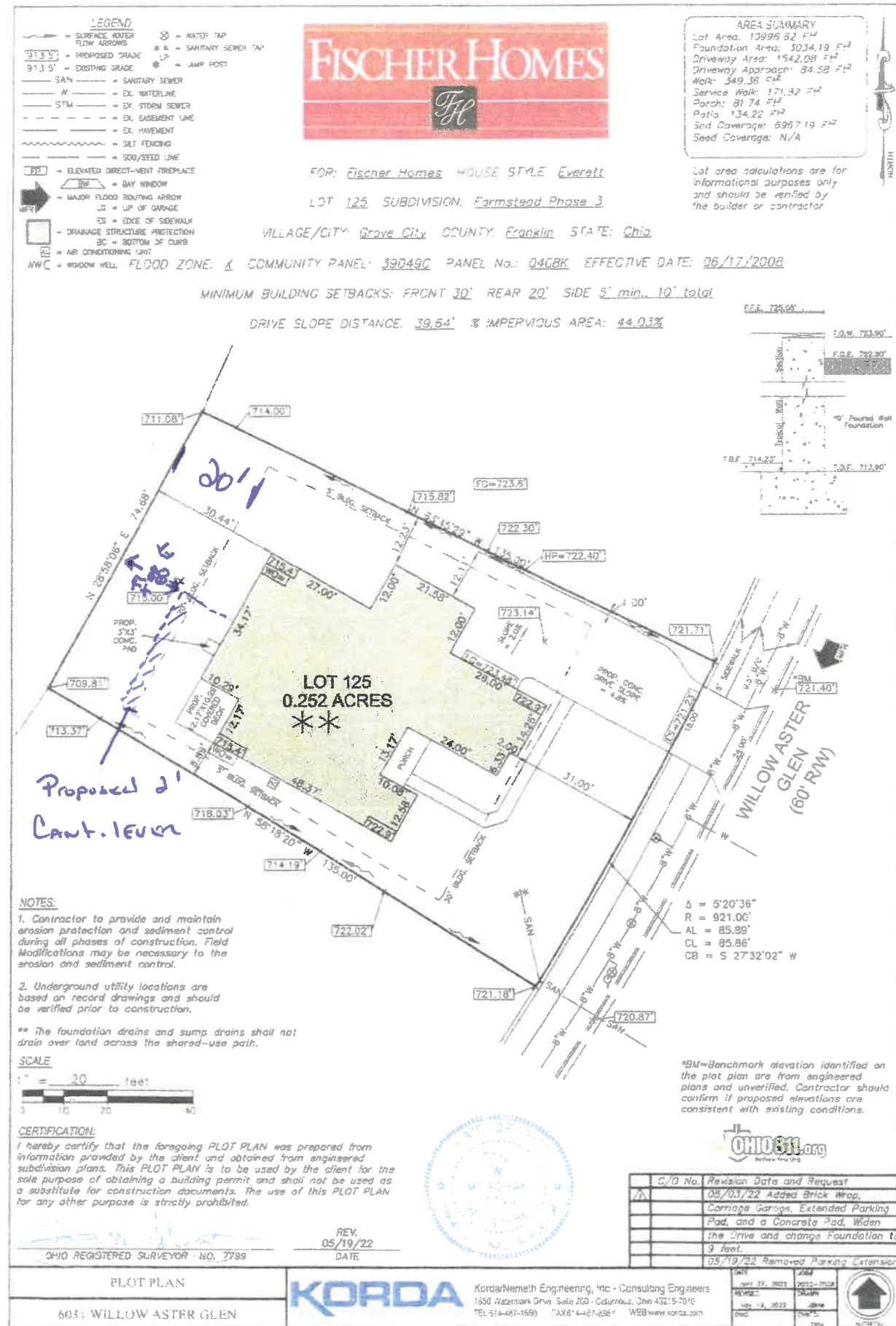






6031 Willow Aster Glen

6031 Willow Aster Glen, Grove City, OH 43123



GENERAL NOTES

- A GENERAL REQUIREMENTS
- 1. GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN.
 - 2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY CURRENT 2010 RESIDENTIAL CODE OF OHIO.

B GENERAL STRUCTURAL REQUIREMENTS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE-LOADING RISK	FLOOD HAZARD INDEX	MEAN ANNUAL TEMP
			WIND	WATER	ICE				
15	5	D	SEVERE	SEE NOTES	SEE NOTES	10	YES	YES	52

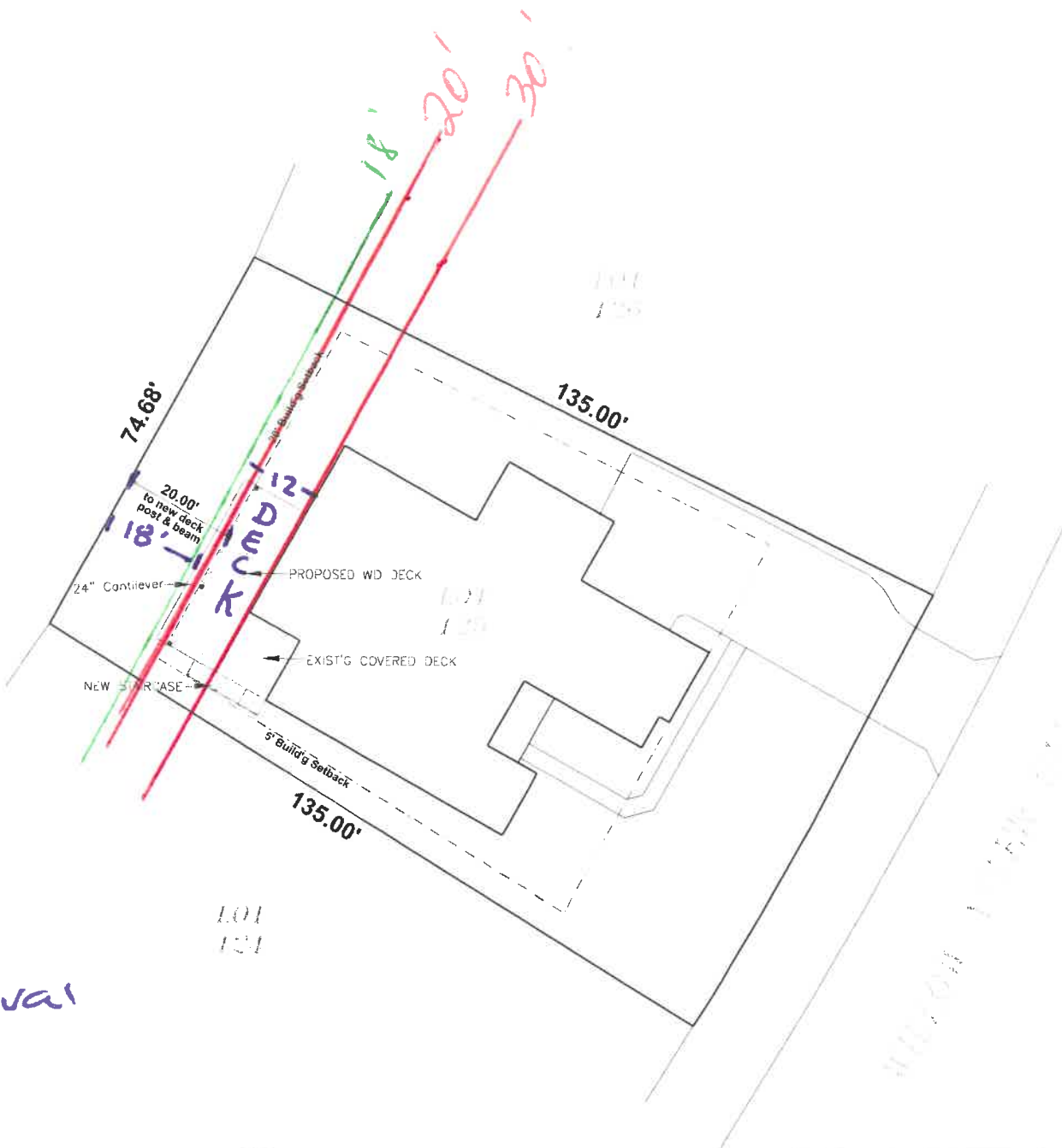
1. STRUCTURAL MEMBERS DESIGN CRITERIA
- A. 40 PSF LIVE LOAD IN ALL LIVING AREAS
 - B. 10 PSF DEAD LOAD IN ALL LIVING AREAS
 - C. A. RAFTERS 15 PSF LIVE LOAD, 15 PSF DEAD LOAD
 - B. ROOF TRUSSES 15 PSF TOP CHORD LIVE LOAD, 10 PSF TOP CHORD DEAD LOAD, 10 PSF BOTTOM CHORD LIVE LOAD, 5 PSF BOTTOM CHORD DEAD LOAD
 - C. NET WIND UPLIFT: 8 PSF
2. DIMENSIONAL LUMBER JOISTS WITH A DEPTH TO WIDTH RATIO EQUAL TO OR GREATER THAN 3 TO 1 (ORIGINALLY) SHALL HAVE BRIDGINGS INSTALLED BETWEEN JOISTS (IE 2X12 JOISTS OR TALLER)
3. ALL FOOTINGS TO EXTEND BELOW FROST LINE
37" MIN FROM GRADE TYPICAL UNCO
34" MIN FROM GRADE AT UNION COUNTY
36" MIN FROM GRADE AT FRANKLIN COUNTY & DELAWARE COUNTY
4. WIND SPEED DESIGN LOADS BASED ON 115 MPH (3 SEC. GUST) EXPOSURE C
5. GROUND SNOW LOAD 25 PSF

* 20' Rear Set Back

2' Cantilever

18' Rear Set Back

Requested Approval



SITE PLAN
SCALE: AS SHOWN

NOTE
SITE PLAN WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND DATA OBTAINED FROM COUNTY AUDITOR'S RECORDS. THE SITE PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. THE USE OF THIS SITE PLAN IS STRICTLY PROHIBITED.

ISSUE DATE:
7/25/23



R. A. Long Design Services
614.422.3486



GETZINGER RESIDENCE
6031 WILLOW ASTER GLEN
GROVE CITY, OHIO 43123

SCALE: NONE
ISS DATE:
SHEET:
SITE PLAN

S-1

APP# PR20230002539

GENERAL NOTES

A. GENERAL REQUIREMENTS

GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY CURRENT 2020 RESIDENTIAL CODE OF OHIO.

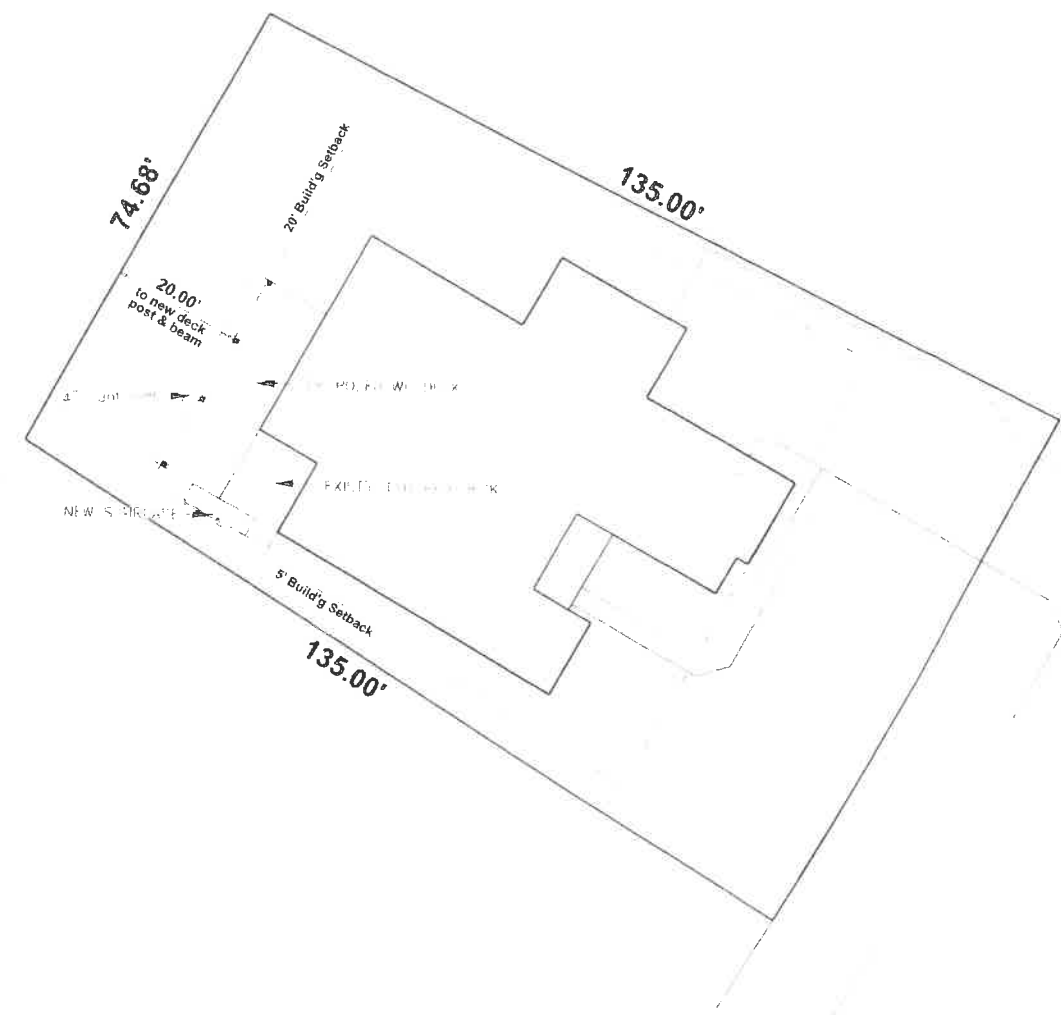
B. GENERAL STRUCTURAL REQUIREMENTS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA											
GROUND SURF. ELEV. (FEET)	WIND SPEED (MPH)	TEMP. (°F)	SUBJECT TO DAMAGE FROM	WIND DESIGN TEMP. (°F)	ICE LOAD (PSF)	FLOOD HAZARD	AD. PREC. (INCHES)	75-YR. ANNUAL TEMP. (°F)			
15	15	0	SEVERE WINTER WEATHER	YES	YES	YES	10.00	24			

- STRUCTURAL MEMBERS DESIGN CRITERIA
- 1. 40 PSF LIVE LOAD IN ALL LIVING AREAS
 - 2. 15 PSF DEAD LOAD IN ALL LIVING AREAS
 - 3. RAFTERS 25 PSF LIVE LOAD 15 PSF DEAD LOAD
 - 4. ROOF TRUSSES 15 PSF TOP CHORD LIVE LOAD 10 PSF TOP CHORD DEAD LOAD 10 PSF BOTTOM CHORD LIVE LOAD 5 PSF BOTTOM CHORD DEAD LOAD
 - 5. NET WIND UPLIFT 8 PSF
7. DIMENSIONAL LUMBER JOISTS WITH A DEPTH TO WIDTH RATIO EQUAL TO OR GREATER THAN 6 TO 1 (NOMINALLY) SHALL HAVE BRIDGING INSTALLED BETWEEN JOISTS (18" MAX JOISTS OR "ALLER")
8. ALL FOOTINGS TO EXTEND BELOW FROST LINE
32" MIN FROM GRADE TYPICAL UNO
34" MIN FROM GRADE AT UNION COUNTY
36" MIN FROM GRADE AT FRANKLIN COUNTY & DELAWARE COUNTY
9. WIND SPEED DESIGN LOADS BASED ON 15 MPH (3 SEC. GUST) EXPOSURE C
10. GROUND SNOW LOAD 75 PSF

Piers + Post
At Set back.

UPPER DECK
Cantilevered 2'
over Set Back



SITE PLAN

NOTES

THIS PLAN WAS PREPARED FROM INFORMATION PROVIDED BY THE CLIENT AND IS TO BE USED BY THE CLIENT FOR THE PROJECT ONLY. THE USER OF THIS PLAN IS SOLELY RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CLIENT AND THE USER OF THIS PLAN.

ISSUE DATE:
9/25/23

ATS

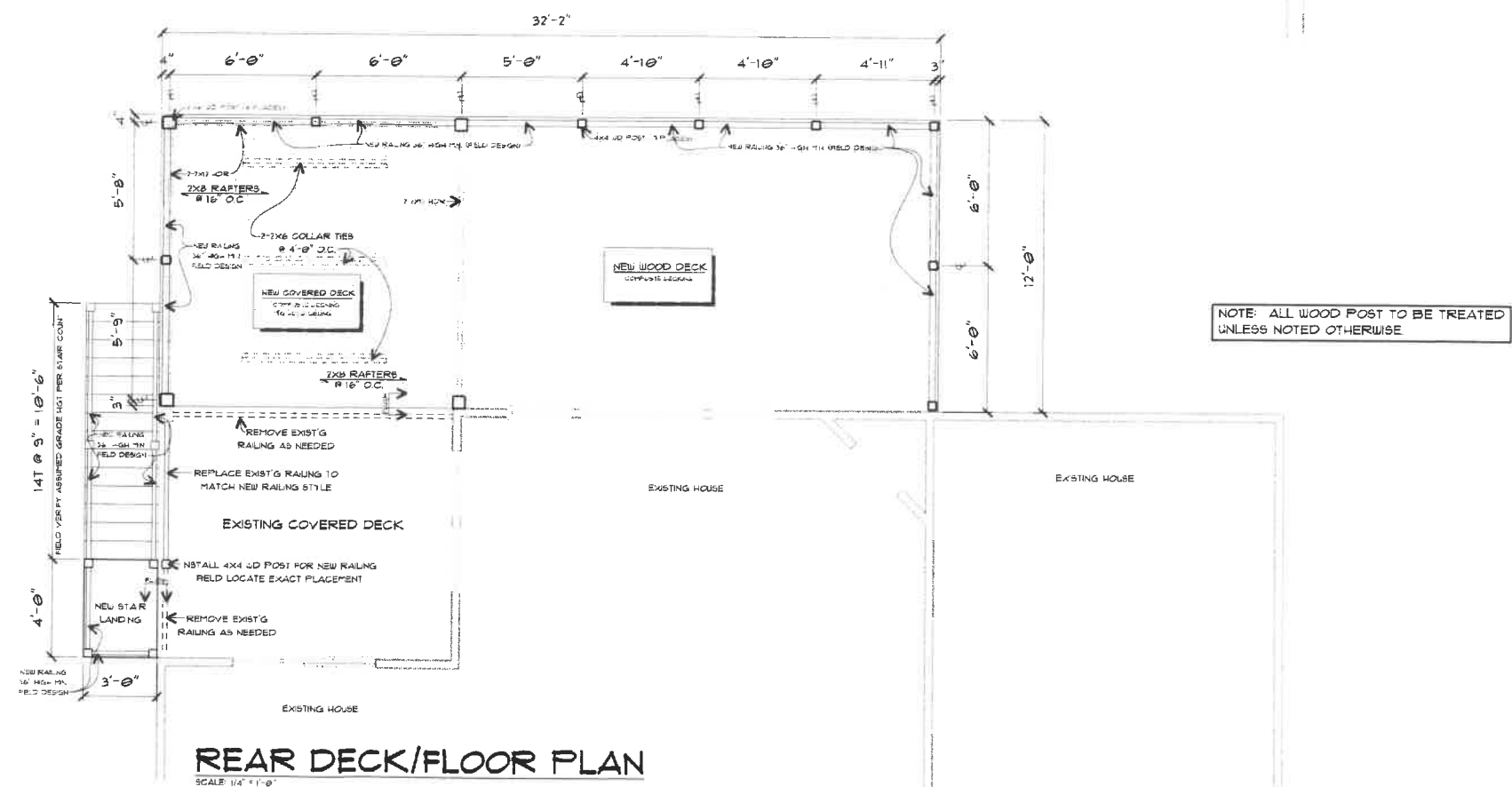
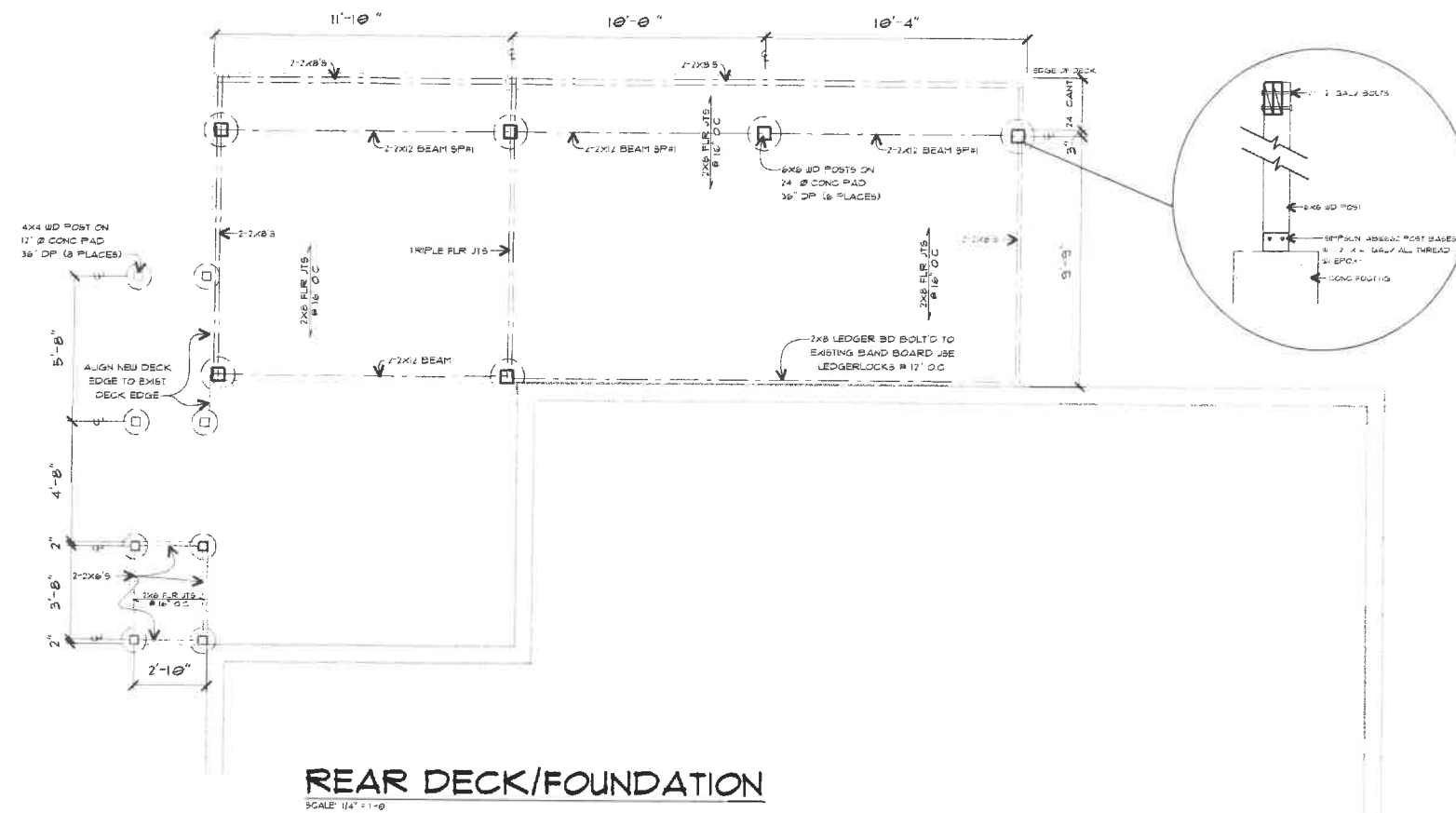
R. A. Long Design Services
R.A. LONG

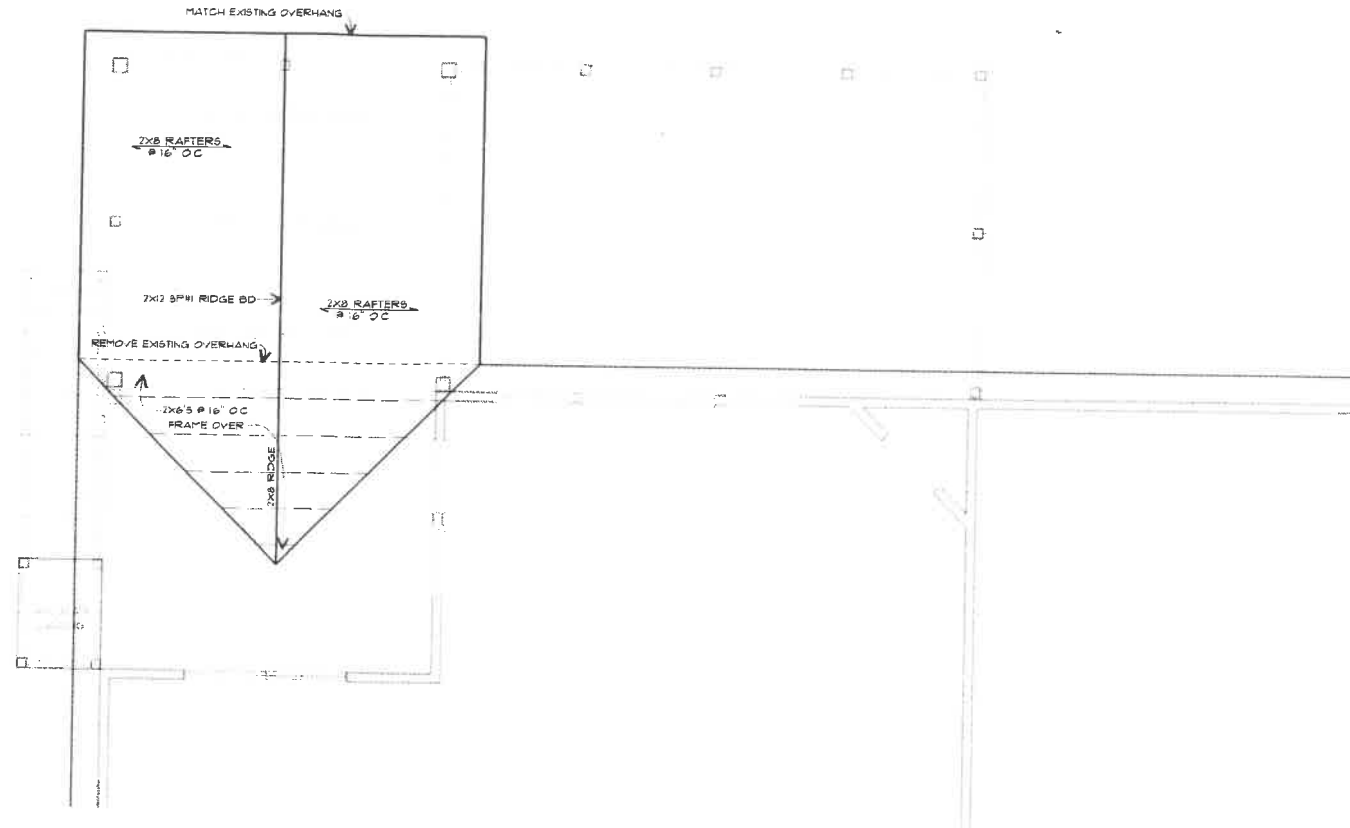
GETZINGER RESIDENCE
6031 WILLOW ASTER GLEN
GROVE CITY, OHIO 43123

SCALE: NONE
REV. DATE:

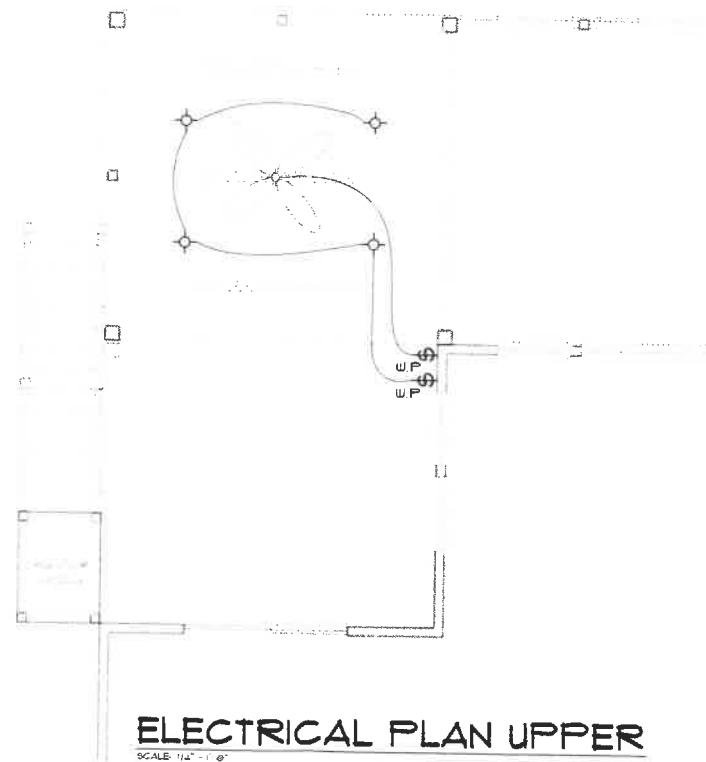
SHEET:
SITE PLAN

S-1

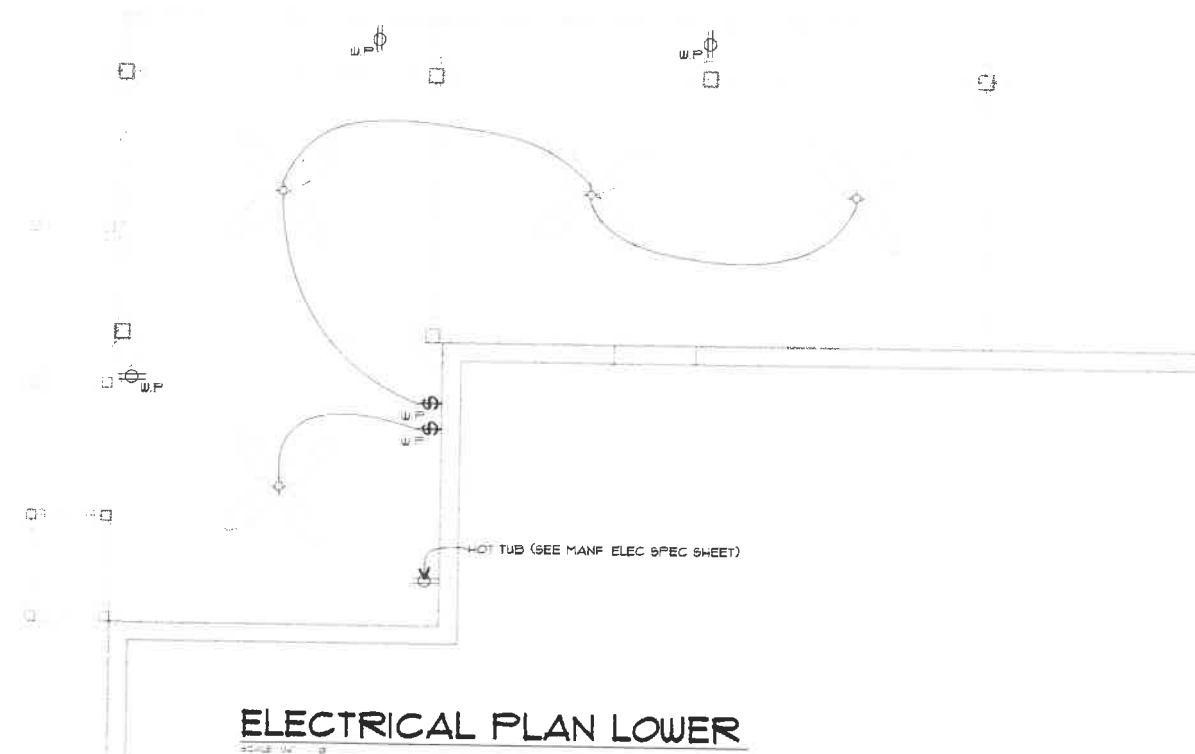




REAR DECK/ROOF PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN UPPER
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN LOWER
SCALE: 1/4" = 1'-0"

ISSUE DATE: 9/25/23



R. A. Long Design Services
614.465.3366



GETZINGER RESIDENCE

6031 WILLOW ASTER GLEN
GROVE CITY, OHIO 43123

SCALE: 1/4"

ISS DATE:

SHEET:
ROOF PLAN,
ELECTRICAL PLAN

A4