



Grove City Building Division
4035 Broadway
Grove City, OH 43123
614-277-3075 (Phone)
614-277-3090 (Fax)
GroveCityOhio.gov

BOARD OF ZONING APPEALS APPLICATION

TO: Board of Zoning Appeals
4035 Broadway, Grove City, Ohio 43123
Phone: 614-277-3075 - Planning & Zoning Coordinator

Checks Made Payable To:
CITY OF GROVE CITY
Filing Fee \$100.00

Date: 5/2/24

Application information must be completed or it will be returned and not placed on an agenda until it is complete and re-submitted. One original set of plans and 13 copies (14 total sets) shall be included when submitting this application. Each set shall include this application form and any additional attachments.

The City of Grove City Building Inspector has refused to issue a:

☒ Building Permit ☐ Certificate of Occupancy ☐ Sign Permit

at the following address 1646 Pinnacle Club Drive Grove City, OH 43123 Parcel # 0400137650

as it is in violation of : Building Code No. _____ Zoning Code No. 1135.10 Other: 1137.08

I appeal to the Board of Zoning Appeals for a variance that will allow me to do the following:

Build an accessory garage and structure that would serve as an area for changing, bathing, and gathering for all guests of the private residence pool.

To exceed the maximum square footage allowed or an attached and detached garage combined of 900sf, by 1725 sf for a total combined garage space of sf. 2625 sf.

To exceed the maximum wall height for a detached garage of 8'-0 by 12' for a total wall height of 20' 0".

To exceed maximum Overall Height for a detached Garage pf 13'-0" by 19'-0" for an overall height of 32'-0"

Names, Address and Parcel numbers of all adjoining property owners (attach a separate sheet if needed):

STEPHEN IRWIN: 1660 Pinnacle Club Drive, 04-013764-00

KEVIN ADDAE: 1618 Pinnacle Club Drive, 040-013767-00

PATRICK MELDON: 1653 Hartig Drive, 040-013804-00

PATRICK MELDON: 1639 Hartig Drive, 040-013803-00

RICHARD & DEBORAH STITH: 1625 Hartig Drive, 040-013802-00

Are you the applicant or representative? ☒ Applicant ☐ Representative ☐ Property Owner

If you are the representative, who you are representing: Greg Taylor

Please note* As the representative for this application, all correspondence will be directed to you. If additional space is needed, an addendum may be attached.

Name of Applicant Anthony Ciminello Company Ciminello's Design Build LLC

Address 625 s 5th Street City/State/Zip Columbus/Ohio/43206

Phone 614-778-7743 Fax _____ Email AnthonyCiminello@gmail.com

Signature of Applicant anthony ciminello



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BOARD OF ZONING APPEALS

STATEMENT OF HARDSHIP

Under Section 1133.02 of the Grove City Codified Ordinances, the Board of Zoning Appeals has the power to grant variances from the Zoning Code or Sign Code. No variance shall be granted unless the Board finds that **all** of the following facts and conditions exist:

- (1) The variance granted will not be contrary to public interest or adversely affect the health or safety of persons residing or working in the vicinity of the proposed development or be injurious to private property or public improvements in the vicinity.
- (2) Granting the variance requested will not confer on the applicant any special privilege that is denied by the Zoning Code or Sign Code to other lands or structures in the same zoning district.
- (3) A literal enforcement of the Zoning Code and Sign Code will result in unnecessary hardship by depriving the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Zoning Code or Sign Code.
- (4) Special conditions and circumstances exist which are peculiar to the land or structure involved, and which are not applicable to other lands or structures in the same zoning district.
- (5) The special conditions and circumstances do not result from the action of the applicant.
- (6) The variance so granted does not violate the spirit of the Zoning Code. In granting a variance, the Board may impose such requirements and/or conditions it deems necessary and are not inconsistent with substantial justice and avoiding unreasonable hardship to property owners.

I have read Section 1133.02 and believe that my application for relief satisfies each of the six criteria set forth above in the following ways (attach a separate sheet if needed):

1. ~~The accessory garage does not sit within any easement and would allow for other private and public improvements to be made in the area~~
2. ~~The granting of these variances would not be giving the applicant any special privilege.~~
3. ~~Unnecessary hardship would be felt by the property owner if denied. There is an adjoining property 1653 Hartig Road that was granted similar variances to create a garage and bathroom changing area for their pool.~~
4. ~~The house sits on a combined lot. Because the original house was built on a single lot it is to the western edge of the property. This accessory garage's size is proportionate to both the house, as well as the double lot. The structure, along with the subsequent landscaping will make it appear that both the house and the garage were built on one double lot at the same time.~~
5. ~~These special conditions are not the result of any action of the applicant~~
6. ~~The accessory garage does not violate the spirit of the zoning code. It has been designed in conjunction with the house to make sure it appears to be attached to the house from the street. In that process we had to raise the roof line to match the roof line of the house, The home owner has also purchased and combined the adjacent lot.~~

Signature of Applicant anthony ciminello Date: 5/2/24

SBA STUDIOS PROJECT #: 2023-509

TAYLOR GARAGE



INDEX OF DRAWINGS

A0-0	COVER SHEET / INDEX
A1-0	FOUNDATION & GARAGE PLAN
A1-1	SECOND FLOOR & ROOF PLAN
A2-1	EXTERIOR ELEVATIONS (FRONT & REAR)
A2-2	EXTERIOR ELEVATIONS (RIGHT AND LEFT SIDES)
A3-1	WALL SECTIONS / OHBA ENERGY COMPLIANCE
A3-2	WALL SECTIONS
A4-1	L&V SCHEDULE / STAIR SECTIONS / NOTES
E1-0	ELECTRICAL PLANS

GENERAL HOUSE INFORMATION

FINISHED OFFICE SPACE FOOTAGE:	1,197 S.F.
SHOP SQUARE FOOTAGE:	283 S.F.
GARAGE & STORAGE SQUARE FOOTAGE:	772 S.F.
COVERED PORCH SQUARE FOOTAGE:	118 S.F.

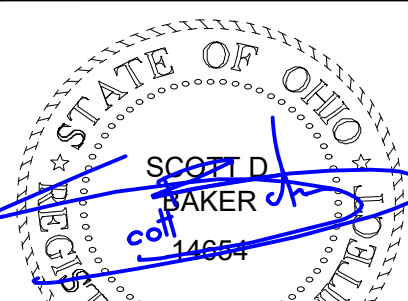
HOUSE WIDTH:	53'-0"
HOUSE DEPTH:	31'-0"
HOUSE HEIGHT:	29'-8 3/4"

GENERAL REQUIREMENTS

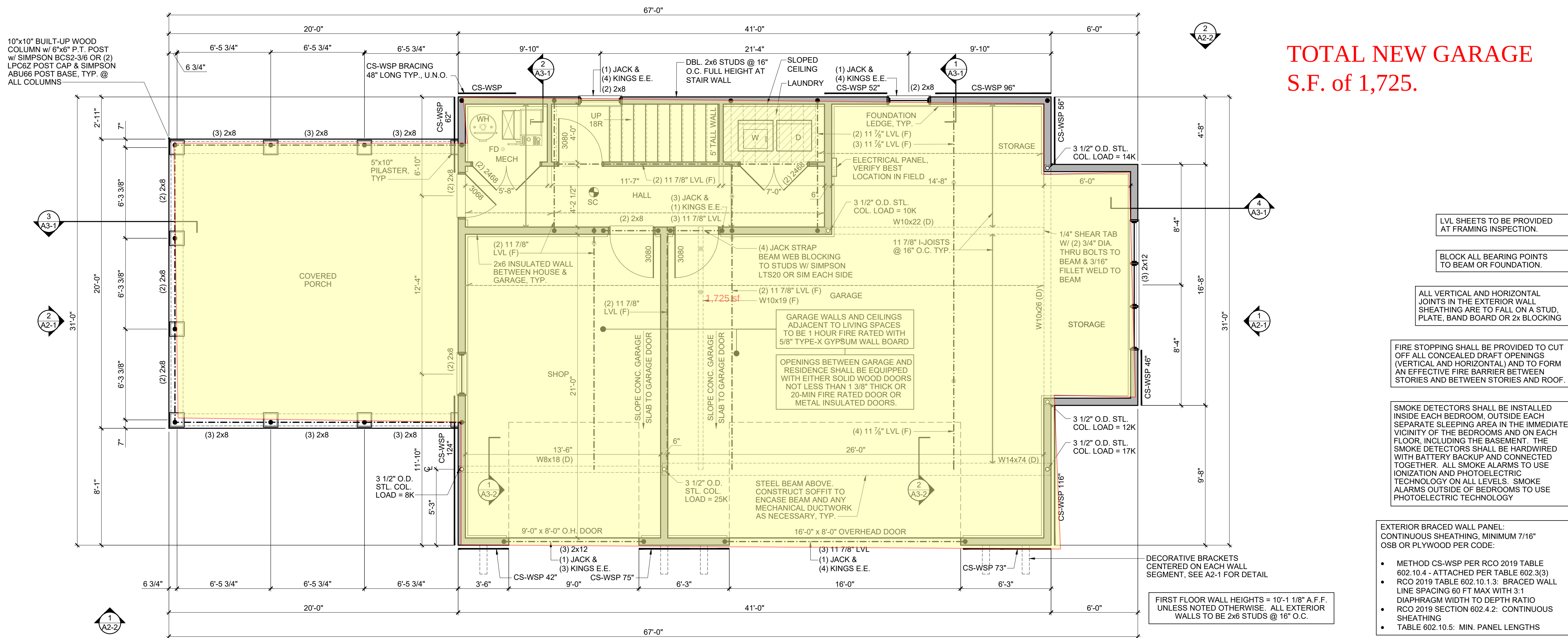
- GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO
- ELEMENTS OF CONSTRUCTION, WHETHER OR NOT SPECIFICALLY NOTED ON THESE DRAWINGS, ARE TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL BUILDING CODES.
- IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT CODE SHALL GOVERN. BUILDER SHALL BE FAMILIAR W/ PROVISIONS OF ALL APPLICABLE CODES AND INSURE COMPLIANCE OF WORK WITH THOSE CODES.
- THIS IS A "BUILDERS SET OF DRAWINGS". IT REQUIRES THE BUILDER USING THESE DRAWINGS TO BE FAMILIAR WITH GENERAL BUILDING AND CONSTRUCTION PRINCIPALS AS WELL AS BUILDING CODE REQUIREMENTS. IF THE BUILDER USING THESE DRAWINGS NEEDS SPECIFIC INFORMATION NOT PROVIDED IN THIS SET OF DRAWINGS THE BUILDER SHOULD NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY, AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/BUILDER CONTRACT IS, AND SHALL BE, THE BUILDER'S RESPONSIBILITY.
- BUILDER SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- CHANGES TO THESE DRAWINGS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING. SBA STUDIOS, LLC ASSUMES NO RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.
- THESE DRAWINGS SHOULD NOT BE SCALED. IN CASE OF DISCREPANCY, THE WRITTEN DIMENSIONS SHALL RULE. VERIFY WITH ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES
- ALL INTERIOR DIMENSIONS ARE TO ROUGH FACE OF STUDS, BLOCK OR OTHER ROUGH FRAMING.
- ALL EXTERIOR DIMENSIONS ARE TO ROUGH FACE OF BLOCK, POURED CONCRETE, OR SHEATHING.
- ALL MATERIALS USED ARE TO BE NEW, FIRST CLASS QUALITY BUILDING MATERIALS. STORE ALL MATERIALS IN SUCH A MANNER SO AS NOT TO OVERSTRESS OR DAMAGE ANY STRUCTURE OR MATERIALS DURING INSTALLATION. CONTRACTOR TO PROVIDE BLOCKING, AS NECESSARY, IN WALLS AND CEILINGS TO ANCHOR ALL WALL AND CEILING MOUNTED FIXTURES / EQUIPMENT. FIELD VERIFY LOCATIONS WITH OWNER.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

TAYLOR GARAGE
GROVE CITY, OHIO
PREPARED FOR:
CIMINELLOS DESIGN BUILD, LLC

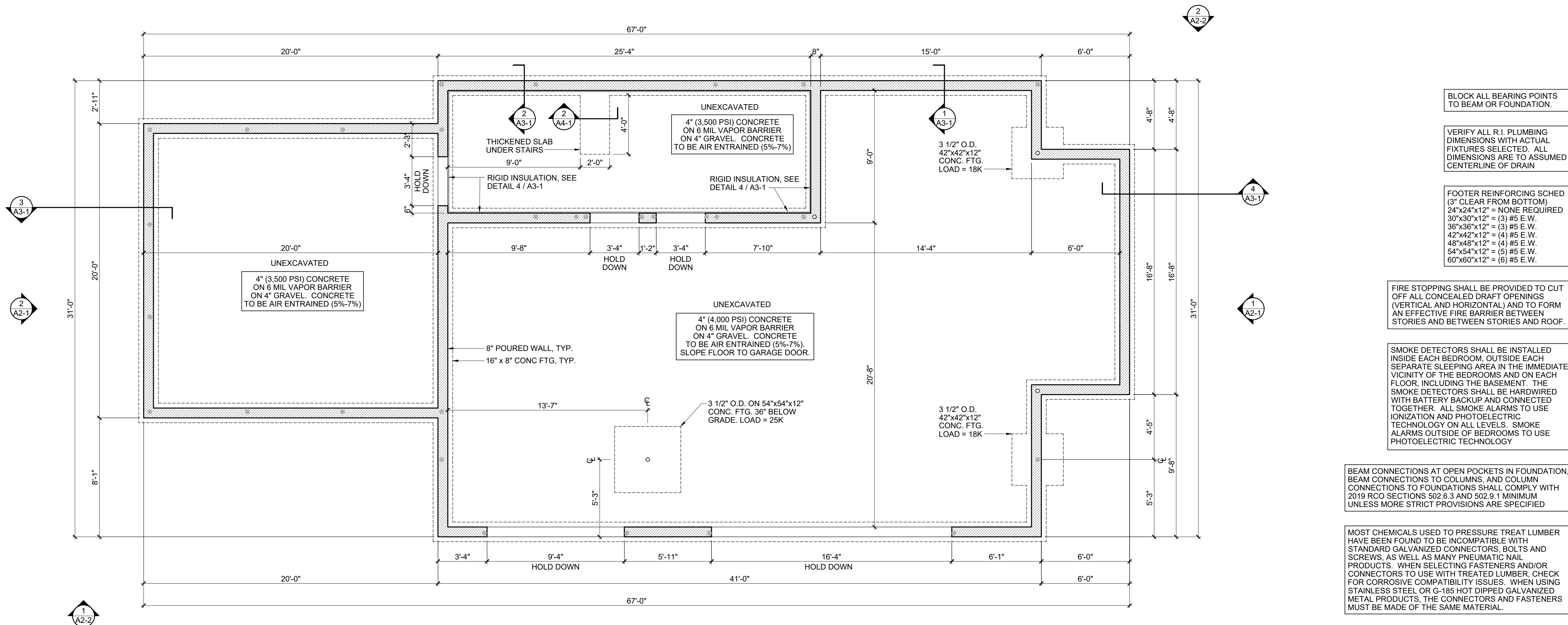


SCALE: VARIES
SHEET # / DESCRIPTION
COVER SHEET
A0-0
DATE: 04.18.2024
CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2025
SBA STUDIOS PROJECT # 2023-509



2 FIRST FLOOR PLAN

211 S.F.



1	FOUNDATION PLAN
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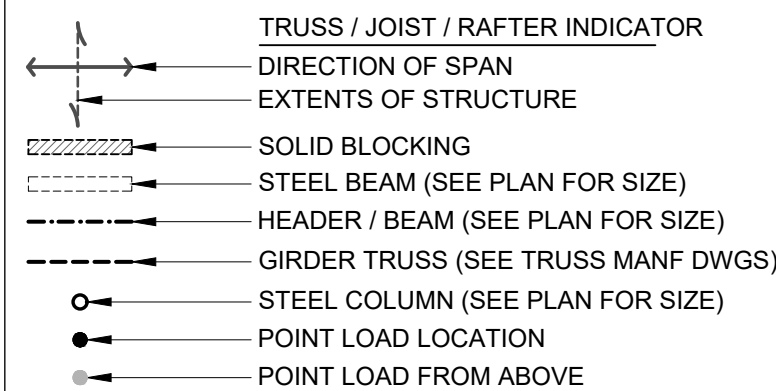
FOUNDATION NOTES

1. ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" x 8" CONTINUOUS POURED CONCRETE FOOTING, SEE WALL SECTIONS.
2. CONTRACTOR TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION (BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION).
3. CEILING HEIGHTS IN BASEMENTS SHALL NOT BE LESS THAN 7'-6" CLEAR, EXCEPT UNDER BEAMS, DUCTS OR OTHER OBSTRUCTIONS WHERE THE CLEAR HEIGHT SHALL BE 6'-8" MINIMUM.
4. ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END.
5. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION.

FLOOR PLAN NOTES

1. ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
2. ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
4. ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
5. EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
6. ALL ANGLED WALLS ARE 45 DEGREES U.O.
7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES.
8. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK.
9. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT NOTED.
10. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
11. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
12. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESERVED BY THE APPLICATION OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED. (F) = FLU
ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING
& (1) JACK STUD EACH SIDE OF OPENING. U.N.O.

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GROVE CITY, OHIO
PREPARED FOR:
CIMINELLOS DESIGN BUILD, LLC

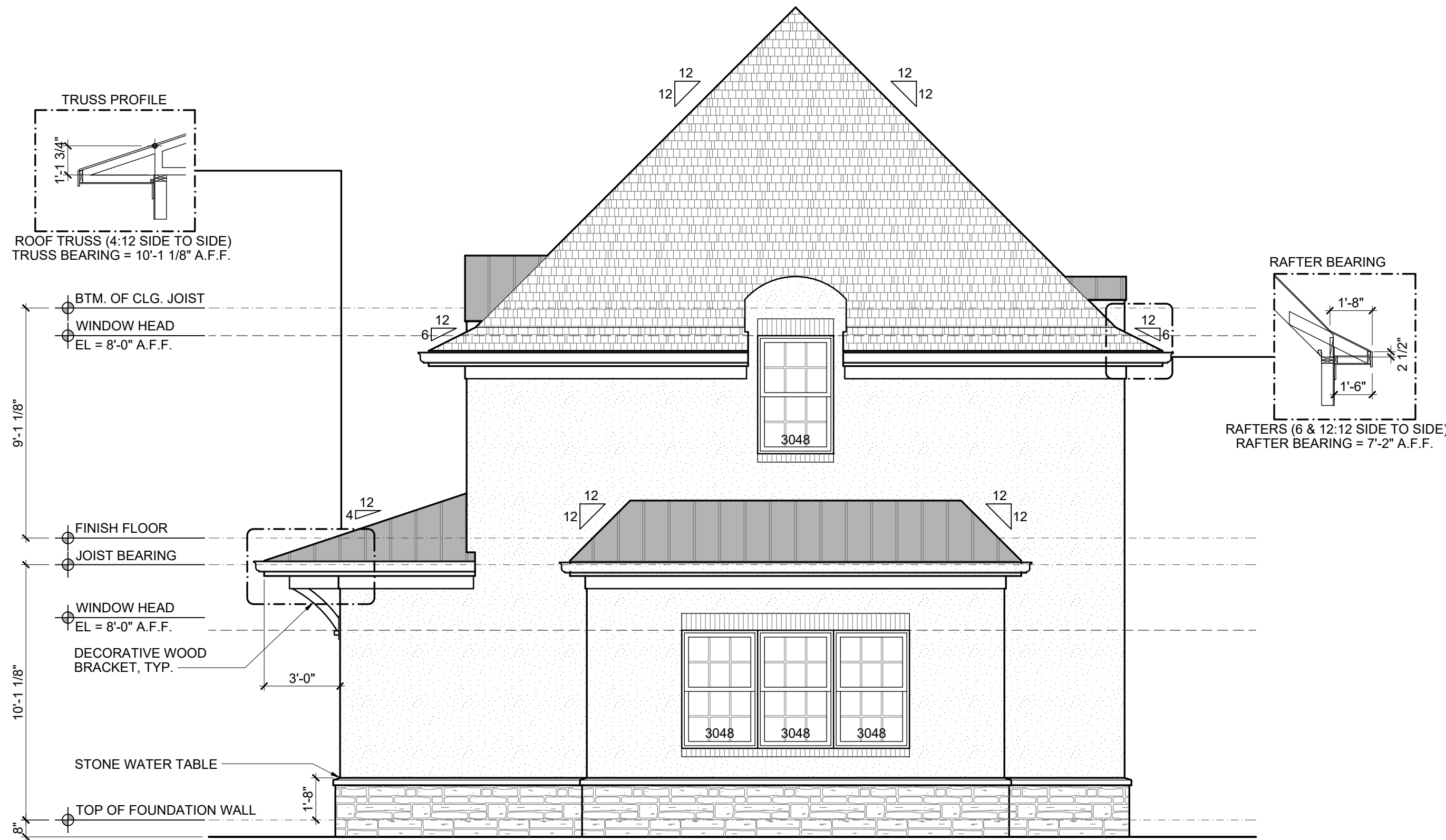


STATE OF OHIO
 REGISTERED ARCHITECT
 SCOTT D. BAKER
 14654

SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
FDN & GARAGE PLAN
A1-0
DATE: 04.18.2024
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2023-505

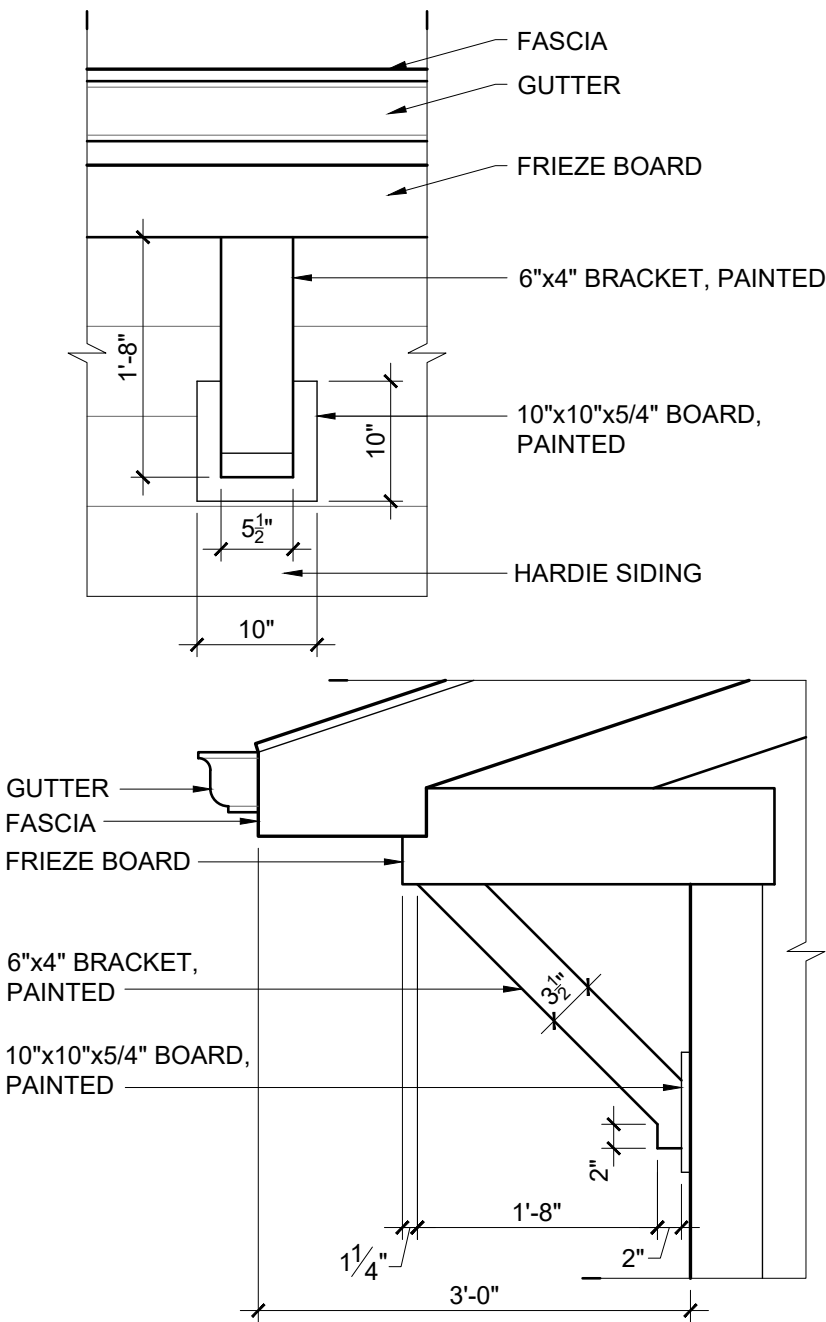


2 REAR ELEVATION

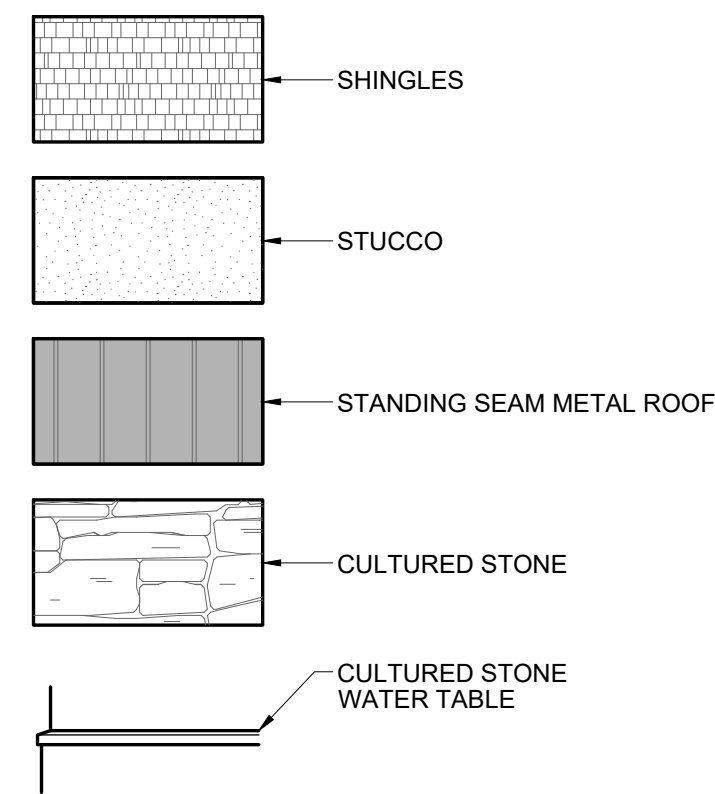


1 FRONT ELEVATION

GARAGE BRACKET DETAIL



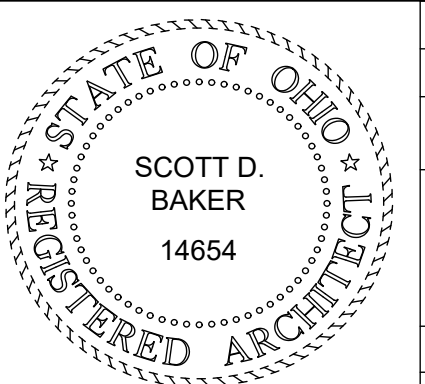
ELEVATION MATERIAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

TAYLOR GARAGE
GROVE CITY, OHIO
PREPARED FOR:
CIMINELLOS DESIGN BUILD, LLC



	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	EXTERIOR ELEVATIONS
	A2-1
	DATE: 04.18.2024
SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2025	CONSTRUCTION DOCUMENTS
	SBA STUDIOS PROJECT # 2023-509



2

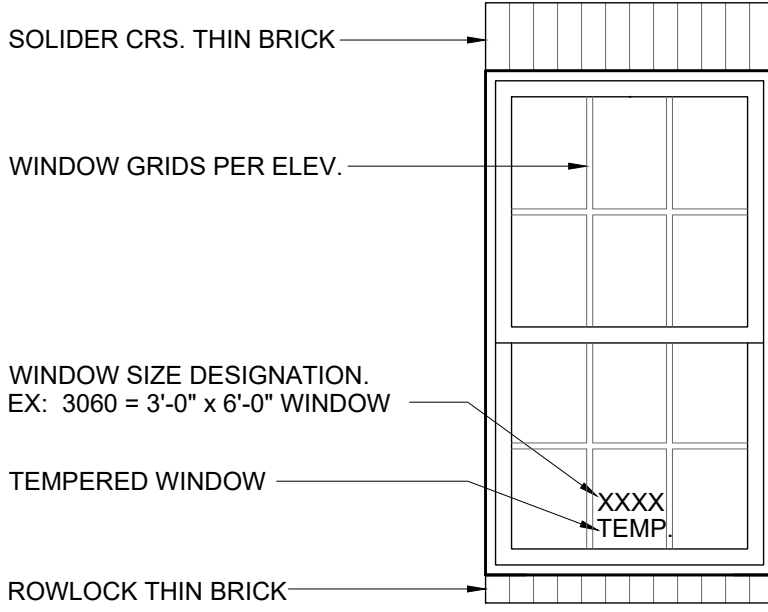
RIGHT SIDE ELEVATION



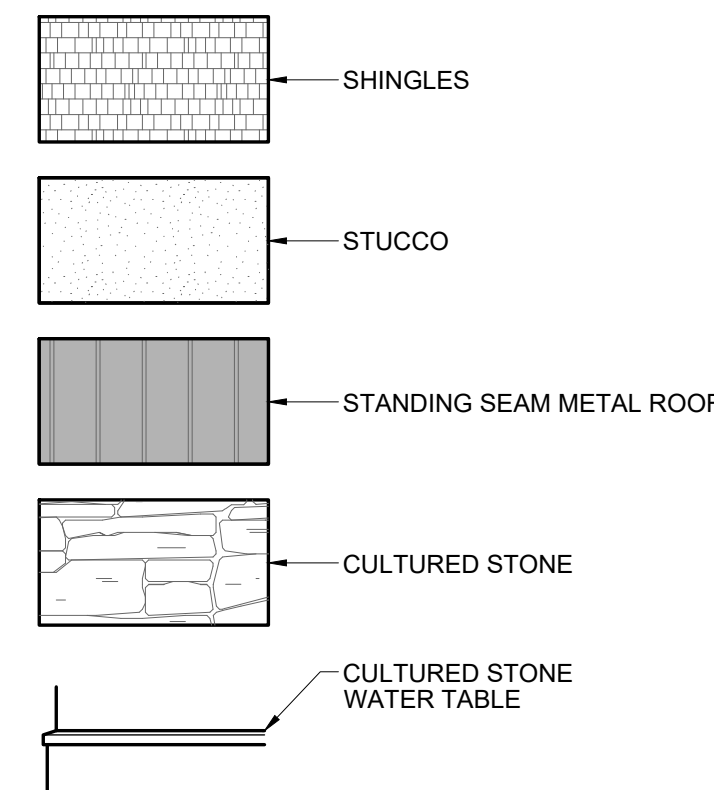
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LEFT SIDE ELEVATION

WINDOW TRIM ELEVATION



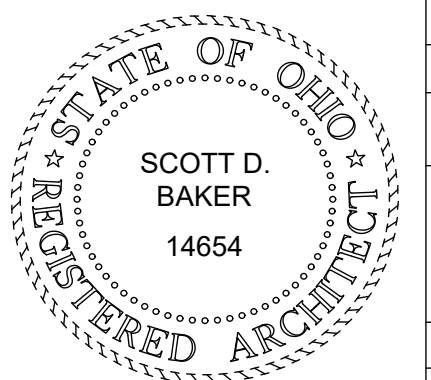
ELEVATION MATERIAL LEGEND



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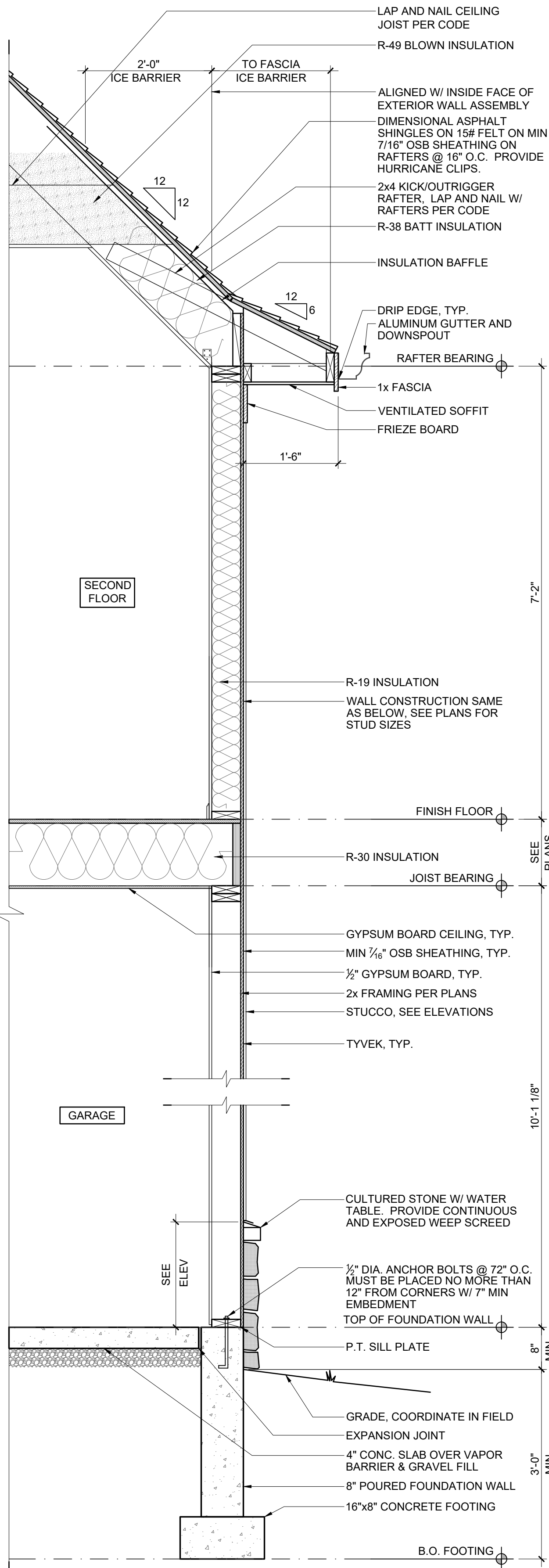
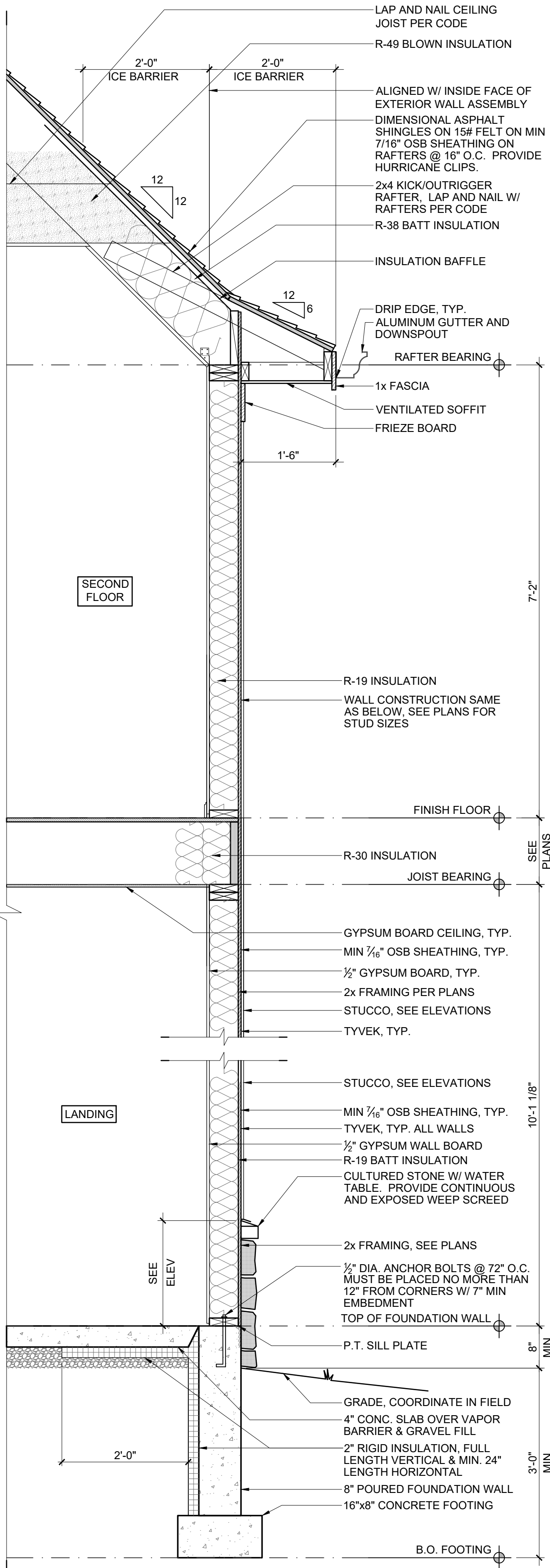
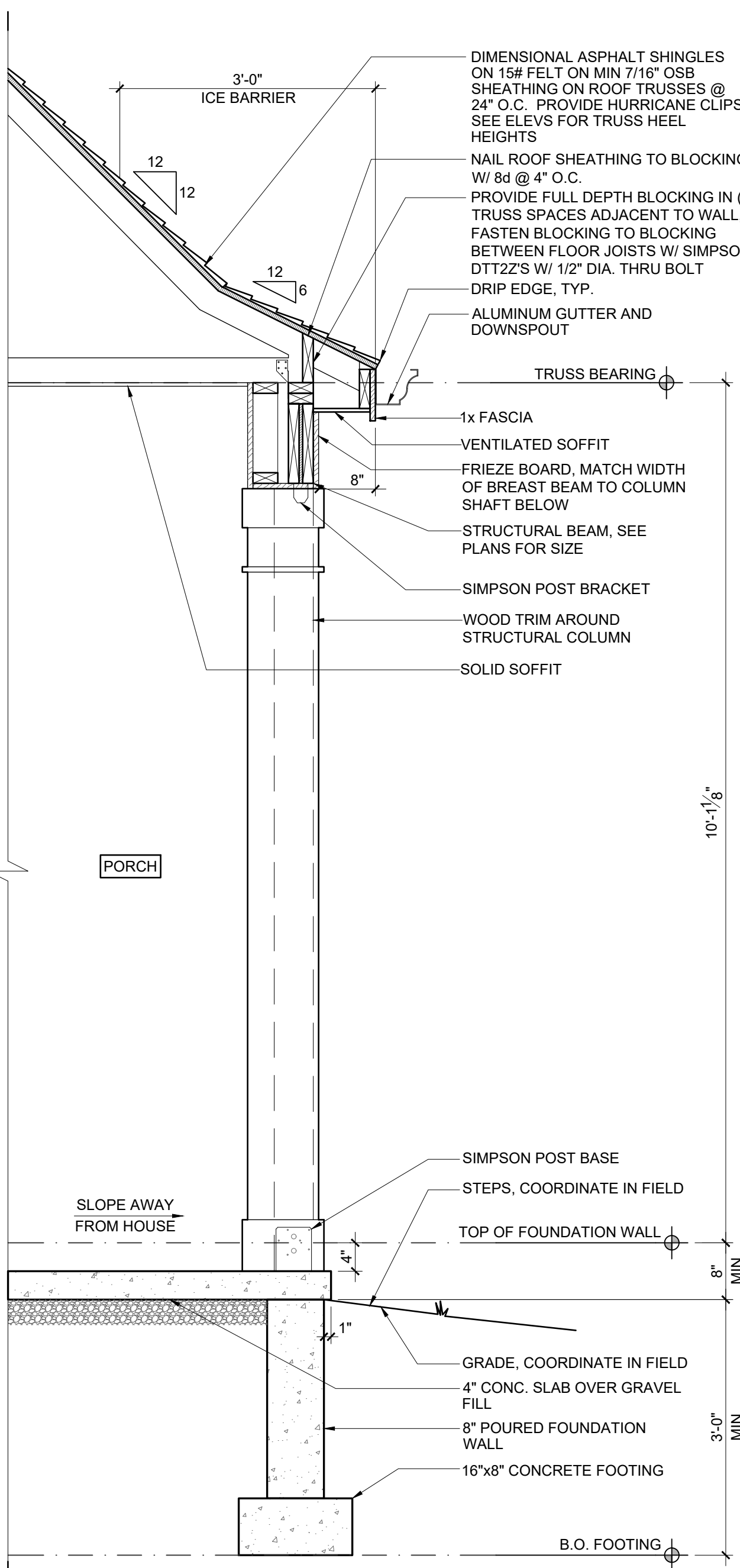
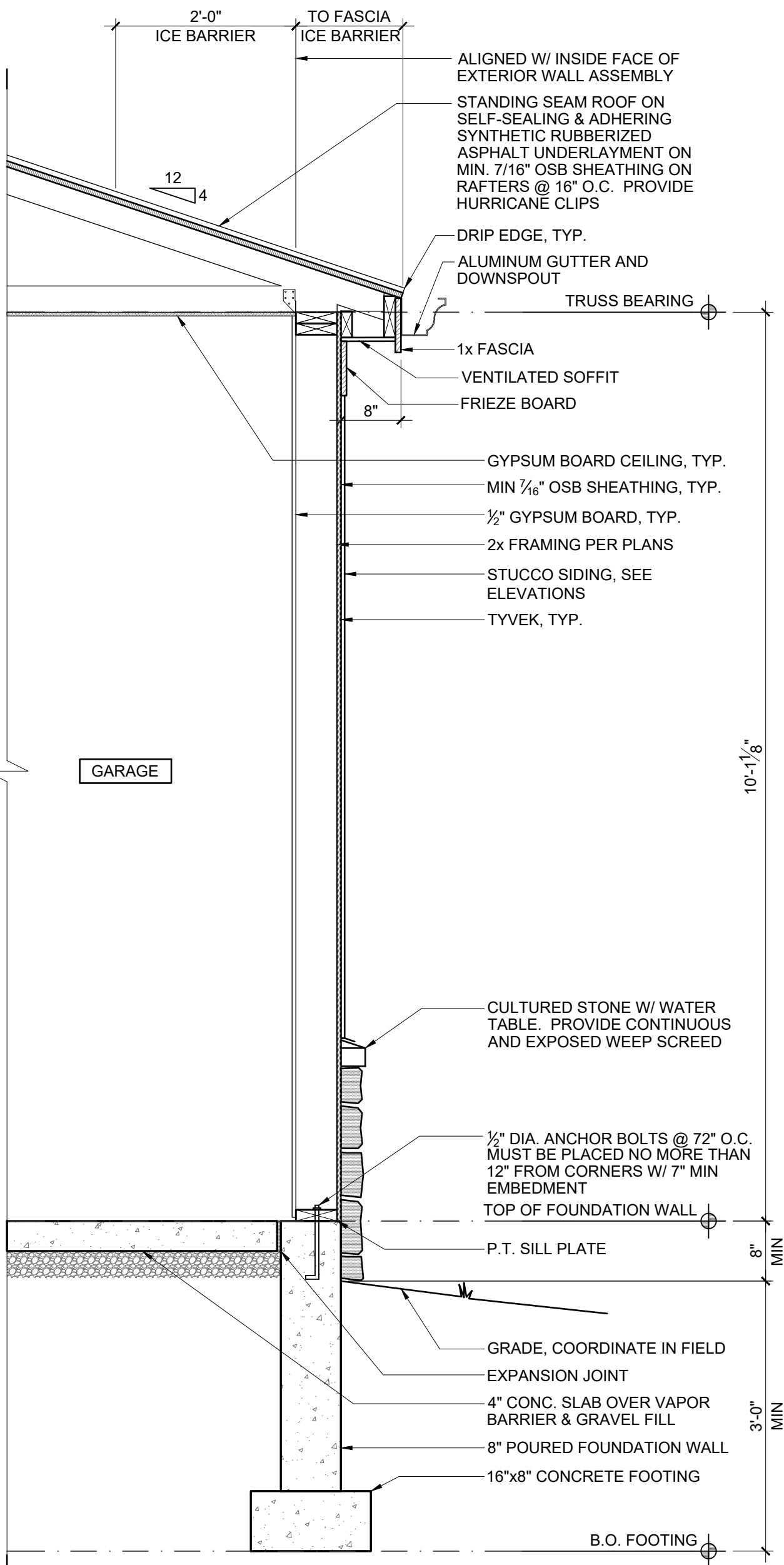
TAYLOR GARAGE
GROVE CITY, OHIO
PREPARED FOR:
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	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	EXTERIOR ELEVATIONS
	A2-2
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OHIO HOME BUILDERS ASSOCIATION (OHBA)		
CLIMATE ZONE 5, COMPLIANCE PATH #1		
COMPONENT	REQUIRED	ACTUAL
EXTERIOR WALLS R-VALUE	R-15	R-15 / R-19
CEILING R-VALUE	R-49	R-49
FENESTRATION U-FACTOR	U=0.32	U=0.32
SKYLIGHT U-FACTOR	U=0.60	-
FLOOR VALUE OVER UNCONDITIONED SPACE	30 (19 IF SUFFICIENT TO FILL CAVITY)	30
BASEMENT WALL VALUE (R-10 CONTINUOUS / R-13 CAVITY)	10 / 13 (MIN 4 FEET)	10 / 13 (MIN 4 FEET)
SLAB R-VALUE	10, 2 FEET	10, 2 FEET
CRAWL SPACE R-VALUE (R-10 CONTINUOUS / R-13 CAVITY)	10 / 13	-
DUCT INSULATION R-VALUES OUTSIDE THERMAL ENVELOPE	SUPPLY R-8, OTHERS MIN. R-6	-
POST-CONSTRUCTION DUCT TIGHTNESS TESTING (RCO TABLE 1112.3.2.2(a))		
LEAKAGE TO OUTDOORS (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 6 CFM (2.83 L/s)
TOTAL LEAKAGE (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 9 CFM (4.24 L/s)
ROUGH-IN DUCT TIGHTNESS TESTING (RCO TABLE 1112.3.2.2(b)) (DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE)		
TOTAL LEAKAGE WITH AIR HANDLER INSTALLED (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 6 CFM (2.83 L/s)
TOTAL LEAKAGE WITHOUT AIR HANDLER INSTALLED (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 4 CFM (1.89 L/s)
MISC:		
CONTROLS	PROGRAMMABLE THERMOSTAT INITIALLY HEATING NO HIGHER THAN 70 F, COOLING NO LOWER THAN 78 F	
LIGHTING SYSTEMS	MINIMUM OF 90% PERMANENT LIGHTING HIGH-EFFICACY LAMPS	

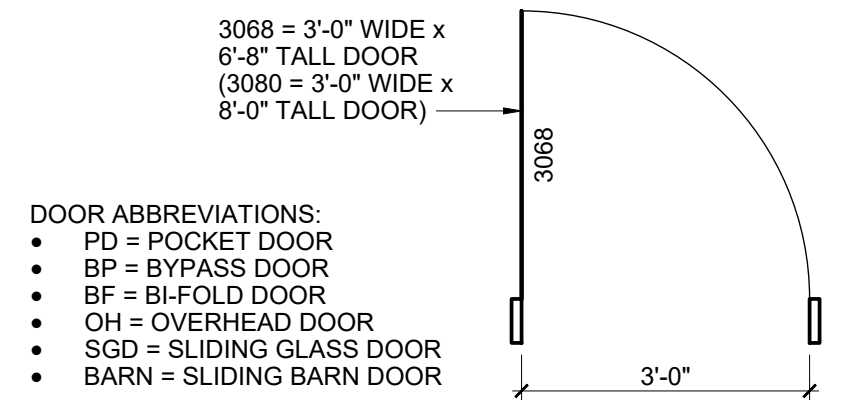
5 OHBA - COMPLIANCE PATH #1



WALL SECTION NOTES

- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES
- SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
- ANY CONFLICTS WITH MATERIALS AND INSTALLATION SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING FOR CORRECTION OR CLARIFICATION.
- GRADE TO SLOPE 6" MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
 - AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF.
 - AT THE INTERSECTION OF CHIMNEYS OR ANY OTHER MASONRY WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
 - AT ALL WALL AND ROOF INTERSECTIONS

DOOR LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

TAYLOR GARAGE
GROVE CITY, OHIO
PREPARED FOR:
CIMINELLOS DESIGN BUILD, LLC

SBA STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

SCALE: 3/4" = 1'-0"

SHEET # / DESCRIPTION

WALL SECTIONS

A3-1

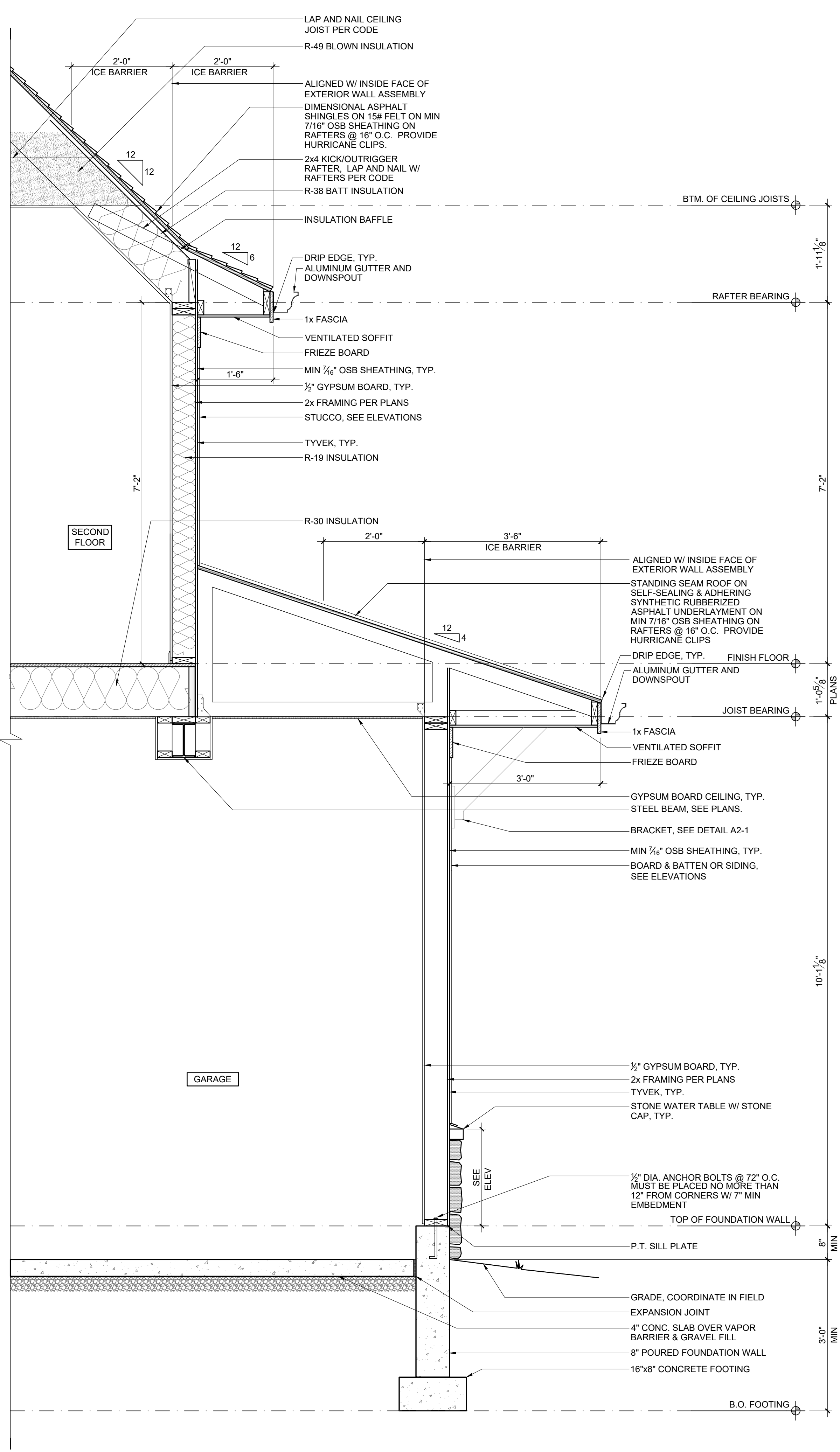
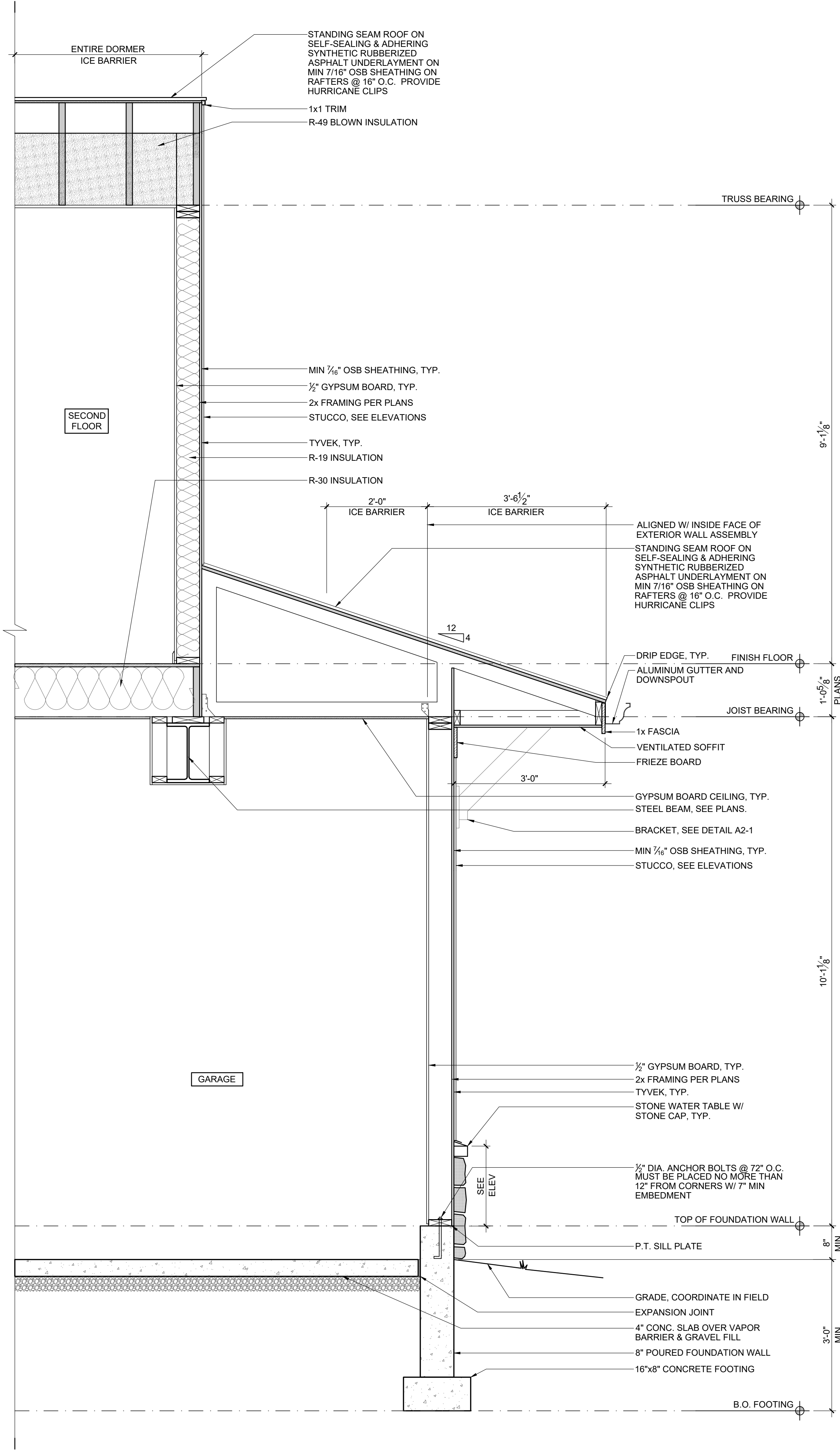
DATE: 04.18.2024

CONSTRUCTION DOCUMENTS

SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2025

SCOTT D. BAKER
14654

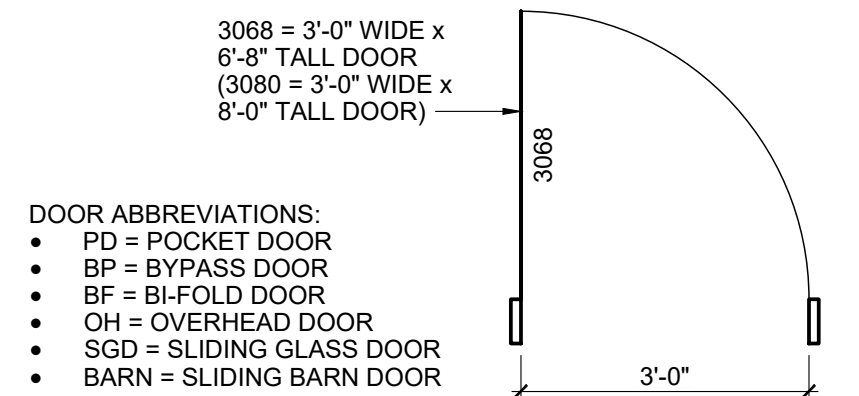
REGISTERED ARCHITECT



WALL SECTION NOTES

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 - AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF.
 - AT THE INTERSECTION OF CHIMNEYS OR ANY OTHER MASONRY WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS.
 - UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
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GROVE CITY, OHIO
PREPARED FOR:
CIMINELLOS DESIGN BUILD, LLC



STATE OF OHIO
REGISTERED ARCHITECT
SCOTT D. BAKER
14654

SCALE: 3/4" = 1'-0"
SHEET # / DESCRIPTION
WALL SECTIONS
A3-2
DATE: 04.18.2024
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GENERAL

GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO

DESIGN ROOF SNOW LOAD = 25 PSF PLUS THE EFFECTS OF DRIFTING SNOW PER ASCE 7:
A. GROUND SNOW LOAD = (Pg) = 25 PSF
B. FLAT ROOF SNOW LOAD = 20 PSF
C. SNOW LOAD EXPOSURE FACTOR (Ce) = 1.0
D. SNOW LOAD IMPORTANCE FACTOR (I) = 1.0

WIND PARAMETERS:
A. BASIC WIND SPEED = 115 MPH
B. WIND LOAD IMPORTANCE FACTOR = 1.0
C. WIND EXPOSURE = EXPOSURE B

SOIL DESIGN PARAMETERS:
A. DESIGN ALLOWABLE SOIL BEARING PRESSURE FOR FOUNDATIONS = 1,500 PSF BASED ON 2019 RCO TABLE 401.4.1
B. EQUIVALENT FLUID PRESSURE FOR WALL LOADING = 55 PCF
C. THE WATER TABLE SHALL BE BELOW THE LOWEST FOOTING BEARING LEVEL OF THE STRUCTURE
D. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE SOIL IS ADEQUATE TO SUPPORT THE STRUCTURE AND THAT THE PRESUMPTIVE WALL LOADING IS CORRECT. CONTRACTOR TO NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING IF THE SOIL DOES NOT CONFORM TO THESE REQUIREMENTS. IF SOIL DOES NOT CONFORM TO THESE REQUIREMENTS, CONTRACTOR TO PROVIDE ENGINEER SEALED GEOTECHNICAL REPORT FOR EVALUATION FOR POTENTIAL ADDITIONAL REQUIREMENTS.

GENERAL NOTES:
A. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING, AND ITS COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIE-DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT, AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ARCHITECT AND ENGINEER HAVE NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS OR METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.
B. IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT ENGAGED IN, AND DO NOT SUPERVISE CONSTRUCTION.
C. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE DRAWINGS CONFLICT WITH THESE STRUCTURAL NOTES, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.

MATERIALS:
A. LUMBER: SOUTHERN PINE #2, ALLOWABLE STRESSES PER THE NATIONAL DESIGN SPECIFICATION SUPPLEMENT, 2018 EDITION; 19% MAX. M.C.
B. METAL CONNECTOR PLATES: GALVANIZED SHEET STEEL, ASTM A446, GRADE A, COATING CLASS G60 PER ASTM A525. MANUFACTURE WITH HOLES, PLUGS, TEETH OR PRONGS UNIFORMLY SPACED AND FORMED.

DESIGN: ROOF TRUSSES
A. TOP CHORD LIVE LOAD = 25 PSF | TOP CHORD DEAD LOAD: = 10 PSF
B. BOTTOM CHORD LIVE LOAD = 5 PSF (40 PSF AT ROOM TRUSSES) | BOTTOM CHORD DEAD LOAD = 5 PSF
C. NET WIND UPLIFT = 8 PSF
D. MAXIMUM LIVE LOAD DEFLECTION IS TO BE L/360
E. MAXIMUM TOTAL LOAD DEFLECTION IS TO BE L/240
F. FINAL DESIGN OF MEMBERS AND CONNECTIONS IS TO BE BY A PROFESSIONAL ENGINEER, REGISTERED IN OHIO, EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
G. SHOP DRAWINGS SHALL EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR THE TRUSS DESIGN.

MISCELLANEOUS:
A. BOLT TOP CHORDS OF ALL MULTIPLE TRUSSES TOGETHER WITH 1/2" DIAMETER BOLTS AT 4'-0" O.C.
B. BOLT WEB MEMBERS TOGETHER WITH 1/2" DIAMETER BOLTS AT 2'-0" O.C. AT CONCENTRATED LOADS, OR PER TRUSS DESIGNER RECOMMENDATIONS.
C. IN AREAS WHERE TOP CHORDS OF TRUSSES DO NOT RECEIVE PLYWOOD SHEATHING, PROVIDE 1X4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3'-0" O.C.
D. TRUSS FABRICATOR SHALL SUBMIT COPIES OF THE FINAL, APPROVED FABRICATION DRAWINGS TO THE BUILDING DEPARTMENT OR BUILDER, PRIOR TO FABRICATION AND ERECTION.

STRUCTURAL STEEL

SPECIFICATIONS: WELDING PERSONNEL AND PROCEDURES ARE TO BE QUALIFIED PER AWS D1.1. UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATE AND ERECTION IS TO BE GOVERNED BY:
A. AISC 360-10 SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
B. AISC 303-10 CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES
C. STRUCTURAL, WELDING CODE, AWS D1.1 / D1.1 M-2010 OF THE AMERICAN WELDING SOCIETY
SPECIFICATIONS FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS (AUGUST 1, 2014)

MATERIALS:
A. STRUCTURAL STEEL CHANNEL, ANGLES, PLATES, ETC.: ASTM A36, FY = 36 KSI; STRUCTURAL STEEL WIDE FLANGES: ASTM A572 OR ASTM A992, FY = 50 KSI; HIGH STRENGTH BOLTS: ASTM A325 OR A490; ANCHOR BOLTS: ASTM A307 OR A36; ELECTRODES: SERIES E70; STRUCTURAL PIPES: ASTM A53 OR A501; FY = 35 KSI MIN; SQUARE AND RECTANGULAR TUBING: ASTM A500, FY = 46 KSI; EXPANSION BOLTS: HILTI HWK-HILTZ, SIMPSON STRONG-TIE "STRONG BOLT" OR APPROVED EQUAL. ADHESIVE ANCHORS: HILTI "HIT-ICE"/HILTI HY 150, "SIMPSON STRONG-TIE "ACRYLIC-TIE," ITW RED-HEAD "AT ACRYLIC."
B. ALL STEEL PIPE COLUMNS TO BE FIXED, NON-ADJUSTABLE, SCHEDULE 40 PIPE COLUMNS. SEE ADJUSTABLE COLUMN DETAIL FOR ADJUSTABLE PIPE COLUMNS. IT IS THE BUILDERS RESPONSIBILITY TO VERIFY THAT THE COLUMNS INSTALLED ARE RATED FOR THE LOADS SHOWN ON THE DRAWINGS

CONNECTIONS:
A. WOOD NAILERS SHALL BE PROVIDED AND ATTACHED TO THE TOP FLANGE OF STEEL BEAMS PER THE FOLLOWING OR ANOTHER APPROVED METHOD:
FLANGE WIDTH BOLTS POWDER ACTUATED FASTENERS
4" 3/8" DIA @ 30" O.C. .145" DIA @ 18" O.C.
5" OR GREATER 1/2" DIA @ 42" O.C. 1/4" DIA @ 18" O.C.
B. BEAM TO COLUMN CONNECTIONS TO BE BOLTED SHEAR TABS OR CAP PLATE TYPE CONNECTIONS. WHERE A CONTINUOUS BEAM WITH A CAP PLATE IS USED, PROVIDE MINIMUM 3/8" STIFFENER PLATES EACH SIDE OF BEAM WEB CENTERED OVER COLUMN.
C. CONNECTIONS TO BE SELECTED BY THE FABRICATOR TO DEVELOP THE FULL UNIFORM LOAD CAPACITY OF THE MEMBER OR FORCES SHOWN ON PLANS, WHICHEVER IS GREATER.
D. BEAM CONNECTIONS AT OPEN POCKETS IN FOUNDATION, BEAM CONNECTIONS TO COLUMNS, AND COLUMN CONNECTIONS TO FOUNDATIONS SHALL COMPLY WITH 2019 RCO SECTIONS 502.6.3 AND 502.9.1 MINIMUM UNLESS MORE STRICT PROVISIONS ARE SPECIFIED OR REQUIRED BY THE DESIGN

PAINT:
A. DO NOT PAINT STEEL OR ANCHOR BOLTS WHICH WILL BE GALVANIZED OR ENCASED IN CONCRETE OR MASONRY. DO NOT PAINT SURFACES TO BE FIELD WELDED OR WHERE SLIP, CRITICAL (S.C.) BOLTS ARE SPECIFIED. PAINT ALL INTERIOR STEEL WITH ONE COAT OF STANDARD SHOP PRIMER, PAINT LINTELS, EXPOSED MEMBERS, AND ALL EXTERIOR STEEL WITH TWO COATS OF RED OXIDE PRIMER UNLESS SPECIFIED BY ARCHITECTURAL OR HORIZONTAL SPECIFICATIONS OR HOT DIP GALVANIZED. TOUCH-UP AND REPAIR ANY DAMAGED OR FIELD WELDED AREAS WITH EQUIVALENT PRIMER OR ZINC RICH PRIMER AS REQUIRED.

MISCELLANEOUS:
A. MINIMUM BEAM BEARING ON MASONRY = 7 1/2 INCHES UNLESS NOTED OTHERWISE.
B. MINIMUM BEAM BEARING ON CONCRETE = 5 INCHES UNLESS NOTED OTHERWISE
C. EMBEDMENT LENGTH OF EXPANSION BOLTS INTO SOLID MASONRY OR CONCRETE SHALL BE AS FOLLOWS: 1/2 INCH DIAMETER BOLTS = 3-1/2 INCHES EMBEDMENT / 3/4 INCH DIAMETER BOLTS = 5 INCHES EMBEDMENT
D. ALL STEEL PIPE COLUMNS TO BE FIXED, NON-ADJUSTABLE, SCHEDULE 40 PIPE COLUMNS
E. STEEL BELOW GRADE IS TO BE PROTECTED BY A MINIMUM OF 3" OF CONCRETE
F. PROVIDE WASHER AND HEAVY NUT AT ALL ANCHOR BOLTS (BOTH ENDS)
G. PROVIDE BOLT HOLES FOR WOOD NAILERS BOLTED TO BEAMS AND COLUMNS
H. STEEL AND FASTENERS IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL, HOT DIP GALVANIZED, OR OTHERWISE PROTECTED FROM CORROSION, COMPATIBLE WITH THE CHEMICALS IN THE WOOD

MASONRY

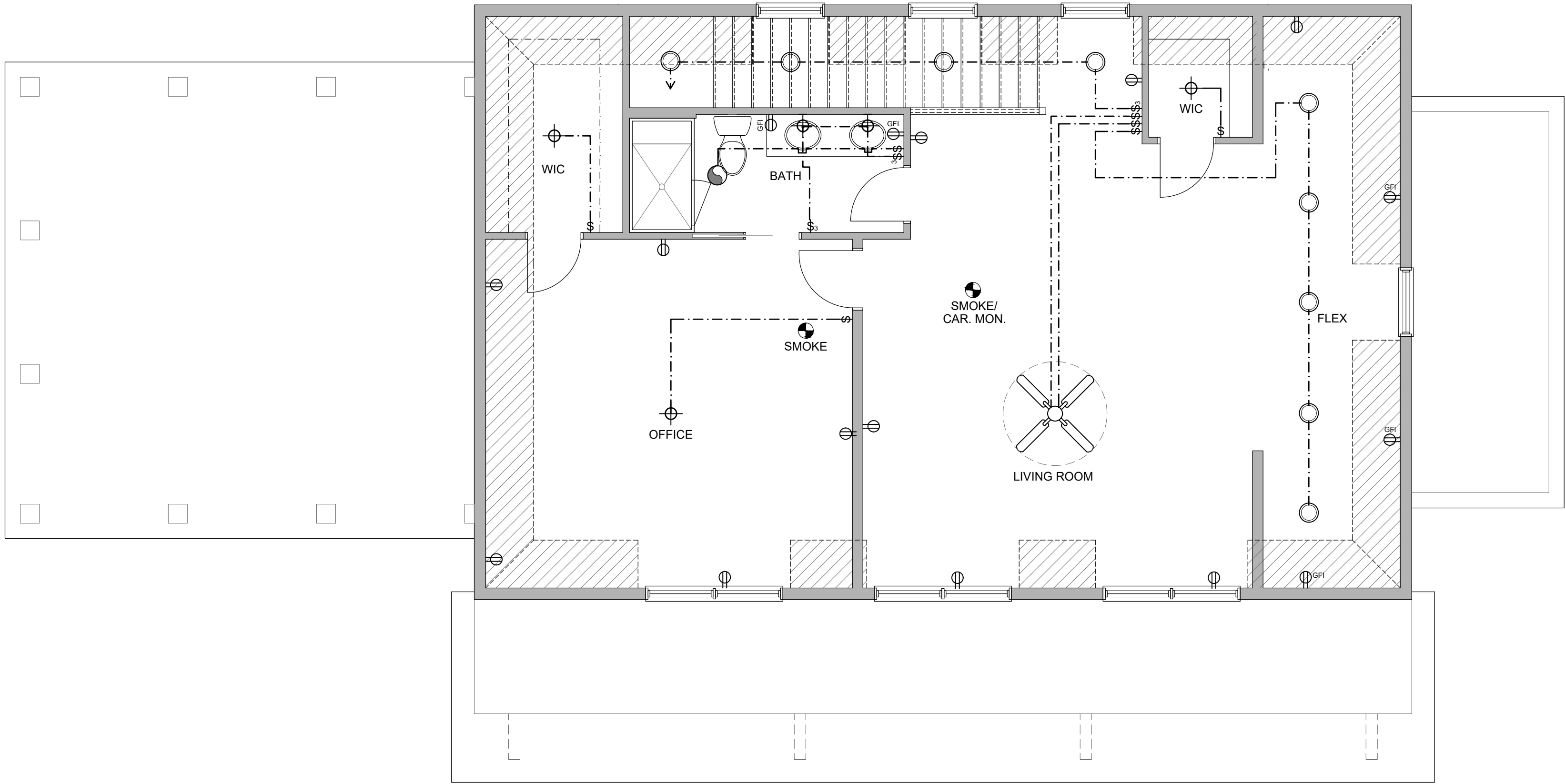
SPECIFICATIONS: MASONRY CONSTRUCTION & MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 602-16)", PUBLISHED BY THE MASONRY SOCIETY MATERIALS:
A. CONCRETE BLOCK: ASTM C90. MINIMUM NET AREA COMPRESSIVE STRENGTH OF C.M.U. = 1900 PSI.
B. MORTAR: ASTM C270 (USING THE PROPERTY SPECIFICATION METHOD, PARAGRAPH 3.2), TYPE S.
C. MINIMUM COMPRESSIVE STRENGTH = 1800 PSI.
D. BOND BEAM AND CORE FILL: ASTM A478, COARSE OR FINE TYPE, PLACED PER TMS 602-16.
E. JOINT REINFORCING: HOT-DIPPED GALVANIZED FINISH, 9 GAGE MINIMUM SIDE WIRES AND CROSS WIRES EXCEPT USE 3/16 INCH DIAMETER SIDE WIRES WHERE "HEAVY-WEIGHT" IS REQUIRED. PROVIDE STANDARD WEIGHT AT EVERY OTHER COURSE MINIMUM U.N.O.
F. BAR REINFORCING: ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE.
G. WIRE TIES AND ANCHORS: RECTANGULAR TYPE, 3/16" DIAMETER WIRE TIES (HOT DIPPED GALVANIZED).
H. PROVIDE 100% SOLID BEARING, MINIMUM THREE COURSES UNDER BEAMS, 2 COURSES UNDER LINTELS.
I. FILL CORE SOLID AROUND ANCHOR BOLTS.
J. PROVIDE 100% SOLID BLOCKS OR SOLIDLY-FILLED HOLLOW BLOCKS FOR AT LEAST 4" ALL AROUND ALL EXPANSION BOLTS.

STRUCTURAL LUMBER

MATERIALS:
A. STRUCTURAL LUMBER INCLUDING BEARING AND EXTERIOR WALL STUDS: SPRUCE PINE FIR #2 OR PLYWOOD, ALLOWABLE STRESSES PER THE 2018 NATIONAL DESIGN SPECIFICATION SUPPLEMENT, 19% MAX. M.C.
B. PLYWOOD: PLYWOOD: CDX, STRUCTURAL II OR BETTER, EXTERIOR GLUE. FOR ROOF AND WALLS: PANEL IDENTIFICATION INDEX 240 - 7/16 INCH MIN. (WITH PLYWOOD CLIPS). FOR FLOORS: PANEL IDENTIFICATION INDEX 23216 - 23/32 INCH
C. OSB: FOR WALLS: MINIMUM 7/16 INCH THICK WITH 24/16 SPAN RATING, EXPOSURE 1. FOR FLOORS: 23/32 INCH THICK, STURD-I-FLOOR WITH SPAN RATING OF 24 O.C. EXPOSURE 1, TONGUE AND GROOVE.
D. MICROLAM (LVL): MODULUS OF ELASTICITY = 1,900,000 PSI, Fb = 2,600 PSI. DESIGN BASED ON LEVEL JOIST

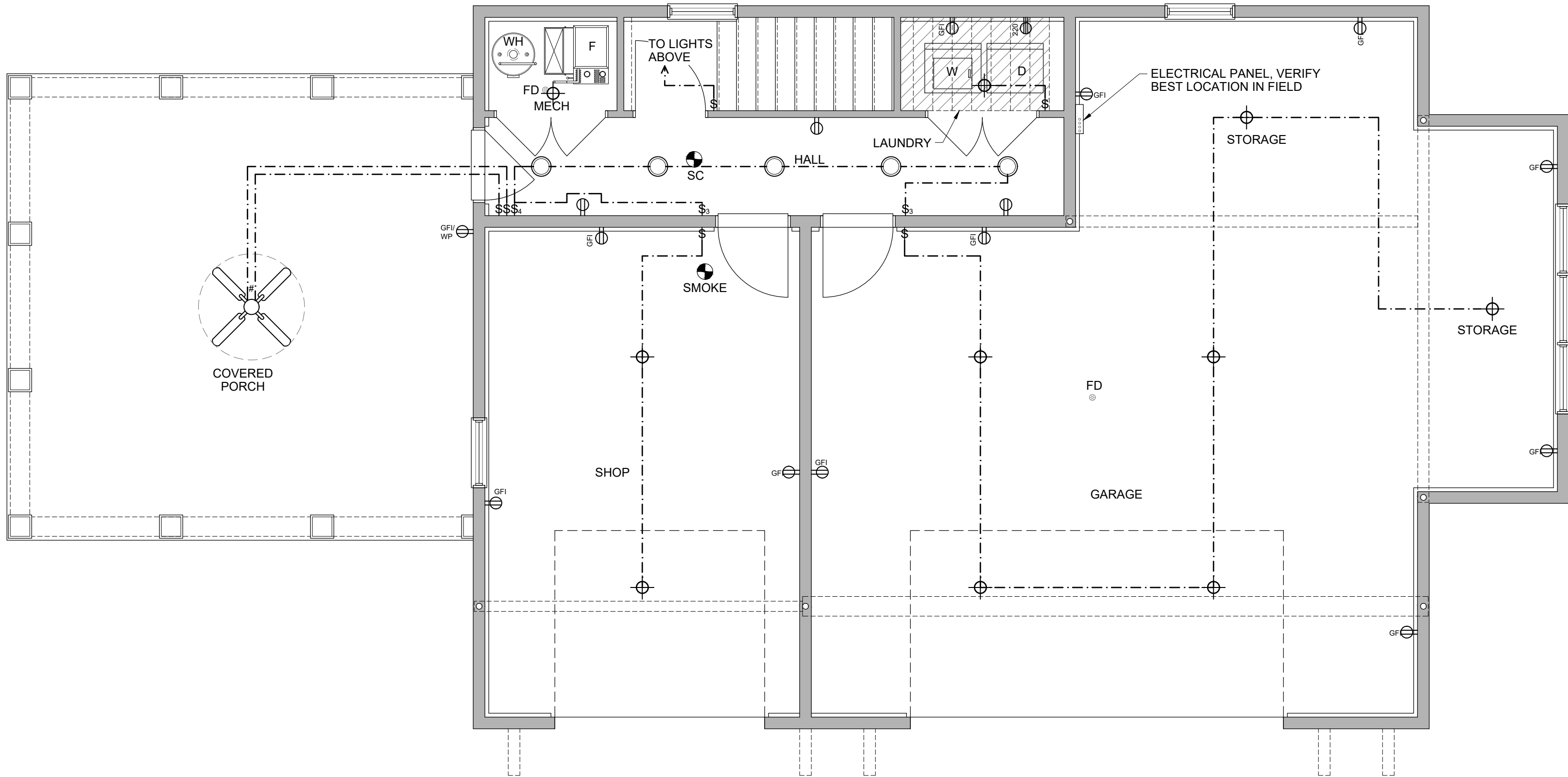
SPECIFICATIONS:
A. UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST EDITION OF: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION | U.S. PRODUCT STANDARD PS1 | 2018 INTERNATIONAL RESIDENTIAL CODE

CONNECTIONS:
A. JOISTS TO SIDES OF BEAMS: 16 GA. GALVANIZED STD. JOIST HANGERS, UNLESS SHOWN OTHERWISE.
B. JO



2

SECOND FLOOR ELECTRICAL PLAN



1

FIRST FLOOR ELECTRICAL PLAN

ELECTRICAL NOTES

- ALL WORK SHALL MEET OR EXCEED ALL 2023 NEC STANDARDS.
- ALL BRANCH CIRCUITS SHALL BE PROVIDED WITH 20A BREAKERS
- ALL RECEPTACLES NOT NOTED TO HAVE GFCI PROTECTION ARE TO BE ARC FAULT PROTECTED AND TAMPER-PROOF
- ALL WET OR DAMP ROOMS, INCLUDING BATH ROOMS, KITCHENS, LAUNDRY ROOMS, UNDER A SINK, OR SIMILAR, SHALL BE GFCI RECEPTACLES PER NEC 210.8(A)(1) THROUGH (A)(11). ALL RECEPTACLES IN THE KITCHEN MOUNTED AT COUNTERTOP HEIGHT ARE TO HAVE GFCI PROTECTION.
- ALL SMOKE DETECTORS SHALL BE 120 VOLT WITH AUDIBLE ALARM AND BATTERY BACKUP AND SHALL BE ELECTRONICALLY INTERCONNECTED SO THAT DETECTION OF SMOKE BY ANY DETECTOR SHALL GO INTO ALARM. SMOKE DETECTORS SHALL BE BRK CAT. \$4120B.
- CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
- PROVIDE 120/240 V STOVE RECEPTACLE. THIS RECEPTACLE MUST BE PROVIDED WITH A GROUNDED CONDUCTOR AND AN EQUIPMENT GROUNDING CONDUCTOR PER NEC.
- PROVIDE PORCELAIN LAMP, RECEPTACLE, AND LIGHT SWITCH IN ATTIC NEAR ALL ATTIC ACCESS LOCATIONS.
- PROVIDE 220 DRYER RECEPTACLE. THIS RECEPTACLE MUST BE PROVIDED WITH A GROUNDED CONDUCTOR AND AN EQUIPMENT GROUNDING CONDUCTOR PER NEC. PROVIDE A DUPLEX RECEPTACLE FOR WASHER. BOTH RECEPTACLES TO BE GFCI. MOUNT BOTH RECEPTACLES AT 30" A.F.F. TO BOTTOM OF RECEPTACLES.
- INSTALL WALL OUTLETS WITH THE BOTTOM OUTLET AT LEAST 18" A.F.F.
- INSTALL WALL SWITCHES WITH THE SWITCH ITSELF BEING NO HIGHER THAN 42" A.F.F.
- INSTALL PHONE JACKS NO LOWER THAN 18" A.F.F.
- INSTALL CABLE CONNECTION NO LOWER THAN 18" A.F.F.
- INSTALL THERMOSTAT NO HIGHER THAN 48" A.F.F.
- ELECTRICAL PANEL TO BE 200 AMP, 3 WIRE SERVICE COMPLETE WITH BREAKER TYPE PANEL BOX.
- PROVIDE GFCI RECEPTACLE BELOW SINK FOR DISHWASHER AND GARBAGE DISPOSAL.
- PROVIDE A TYPE 1 OR TYPE 2 SURGE PROTECTION DEVICE FOR EACH DWELLING
- PROVIDE AFCI PROTECTION PER NFPA SECTION 210.12(A)

ELECTRICAL LEGEND

- CEILING FAN W/ LIGHT
- PHONE JACK
- GARAGE DOOR OPENER
- DOORBELL
- CABLE JACK
- LIGHT SWITCH
- 3-WAY LIGHT SWITCH
- ELECTRICAL OUTLET
- GFI PROTECTED ELECTRICAL OUTLET
- GFI / EXTERIOR OUTLET W/ COVER
- 220 ELECTRICAL OUTLET
- BATH FAN/LIGHT COMBO
- RECESSED CAN LIGHT
- WALL MOUNTED LIGHT
- CEILING MOUNTED LIGHT

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

TAYLOR GARAGE
GROVE CITY, OHIO
PREPARED FOR:
CIMINELLOS DESIGN BUILD, LLC



	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	ELECTRICAL PLANS
	E1-0
	DATE: 04.18.2024
SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2025	CONSTRUCTION DOCUMENTS
	SBA STUDIOS PROJECT # 2023-509