



GROVE CITY, OHIO - CITY COUNCIL Agenda

January 21, 2025

7:00 PM

Regular Meeting

Call to Order

Roll Call

Approval of Minutes

Welcome & Reading of Agenda

Presentations: Camille Kopczewski, Keep G.C. Beautiful; Billie Strader, Sunshine Gang

LANDS:

Resolution CR-03-25 Approve the Development Plan for Credit Union of Ohio located at 2397 Old Stringtown Road.

Resolution CR-04-25 Approve the Preliminary Development Plan for Broadway Live Mixed-Use development located North of Columbus Street and East of Broadway.

ADMIN:

Ordinance C-02-25 Amend Section 161.10 f the Codified Ordinances titled Employee Status, Number of Employees per Department, Pay Grades. Second reading and public hearing.

Call for New Business

Call for Dept. Reports & Closing Comments

Adjourn

ON FILE

Minutes of: 01/06/25, 01/07/25, 01/08/25 Council; 01/07/25 Plan. Comm.

Date: 01/13/25
Introduced By: Ms. Burroughs
Committee: Lands
Originated By: Plan. Comm.
Sponsor:
Emergency: 30 Days:
Current Expense:

No.: CR-03-25
1st Reading: 01/21/25
Public Notice:
2nd Reading:
Passed: Rejected:
Codified: Code No:
Passage Publication:

RESOLUTION NO. CR-03-25

A RESOLUTION TO APPROVE THE DEVELOPMENT PLAN FOR CREDIT UNION OF OHIO LOCATED AT 2397 OLD STRINGTOWN ROAD

WHEREAS, on January 07, 2025, the Planning Commission recommended approval of the Development Plan for Credit Union of Ohio located at 2397 Old Stringtown Rd., with the following deviations and stipulations:

1. The applicant shall work with staff to ensure that all vehicular and pedestrian areas are illuminated to meet the 0.5 footcandle requirement of Code;
2. A deviation shall be granted from Section 1135.12 of the Code to reduce the required number of parking spaces from twenty (20) to seventeen (17).

NOW, THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. This Council hereby approves the Development Plan for Credit Union of Ohio located at 2397 Old Stringtown Rd., contingent upon the deviations and stipulations set by Planning Commission.

SECTION 2. This approval shall be good for 12 months from the date passed, or as otherwise provided in Section 1101.07(b) of the Codified Ordinances of the City of Grove City, Ohio.

SECTION 3. This resolution shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Richard L. Stage, Mayor

Passed:
Effective:

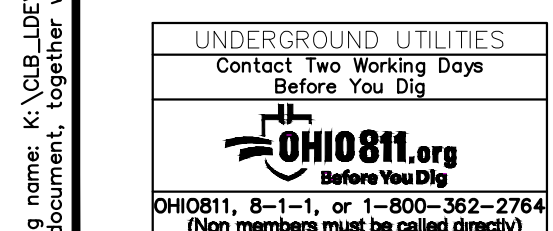
Attest: _____
Tami K. Kelly, MMC, Clerk of Council

I Certify that this resolution
is correct as to form.

Stephen J. Smith, Director of Law

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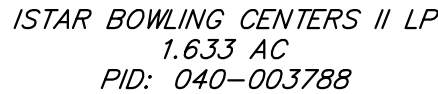
Drawing name: K:\CLB_LDEV\190347000_Credit Union of Ohio_Grove City\2 Design\PlanSheets\Final Development Plan\Title Sheet.dwg TITLE SHEET Dec 20, 2024 11:25am by: tyler.jackson
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse



OHIO LICENSED PROFESSIONAL ENGINEER E-75300
MY LICENSE EXPIRES ON 12/31/2025

OF 7

Drawing name: \\Kirmey-Horn.com\\MW_CLB\\CLB_LBDEV\\190347000_Credit Union of Ohio_Grove City\\2 Design\\CAD\\PlanSheets\\Final Development Plan\\Existing Conditions.dwg EXISTING CONDITIONS Dec 20, 2024 11:12am by: tyler.jackson



ROACH BERKLEY J TR
0.757 AC
PID: 040-010149

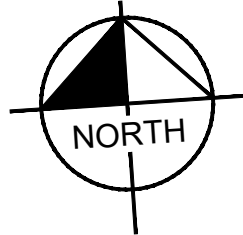
LAWSON KAREN KURGIS TR
1.402 AC
PID: 040-004290

JG & TH REALTY LLC
1.05 AC
PID: 040-005616

SCHMIT CHIROPRACTIC OFF
0.56 AC
PID: 040-006466

— PORTION OF EX.
6" SAN SERVICE
TO BE REMOVED
(GC00963)

HEARTLAND BANK
1.65 AC
PID: 040-006072



GRAPHIC SCALE IN FEET

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- EXISTING SITE BOUNDARY
EXISTING PROPERTY LINE
EXISTING RIGHT-OF-WAY
EXISTING PAVEMENT
EXISTING BUILDING
EXISTING STREAM
EXISTING VEGETATION
STREAM CORRIDOR
PROTECTION ZONE
100-YR FLOODPLAIN
FLOODWAY
EXISTING STORM PIPE
EXISTING WATER MAIN
EXISTING SANITARY PIPE
EXISTING STORM PIPE
EXISTING WATER MAIN
EXISTING GAS MAIN
EXISTING STORM MANHOLE
EXISTING STORM CURB INLET
EXISTING STORM HEADWALL
EXISTING CATCH BASIN (TO BE REMOVED)
EXISTING RIGHT OF WAY (TO BE VACATED)
EXISTING EASEMENT (TO BE VACATED)
EXISTING SANITARY SERVICE (TO BE CAPPED & ABANDONED)
EXISTING FIRE HYDRANT (TO BE REMOVED)
SAWCUT LINE
EXISTING BUILDING (TO BE REMOVED)
EXISTING PAVEMENT (TO BE REMOVED)

EXISTING 8" STORM SEWER ONSITE (RECORD DRAWING NUMBER UNKNOWN) IS TRIBUTARY TO 18" STORM SEWER ON KELNOR DRIVE PER KELLER FARM SUBDIVISION PHASE 1 - STREET, STORM, & WATER PER GC01048.

INDEX MAP
SCALE: 1"=20'

[illegible]

Kimley»»Horn

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7965 N. HIGH STREET, SUITE 200
COLUMBUS, OH 43235
PHONE: 614-454-6699
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED

DESIGNED BY: LLB

DRAWN BY: LLB

CHECKED BY: TGJ

EXISTING CONDITIONS

**FINAL DEVELOPMENT PLAN FOR
CREDIT UNION OF OHIO**
2399 OLD STRINGTOWN ROAD
GROVE CITY, FRANKLIN COUNTY, OH, 43122

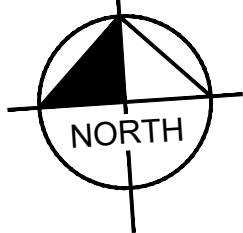
ORIGINAL ISSUE:
12/20/2024

KHA PROJECT NO.

SHEET NUMBER

2

OF 7



GRAPHIC SCALE IN FEET



0 10 20 40

EXISTING SITE BOUNDARY
EXISTING PROPERTY LINE
EXISTING RIGHT-OF-WAY
EXISTING PAVEMENT
EXISTING BUILDING
EXISTING STREAM
EXISTING VEGETATION
PROPOSED SETBACK
PROPOSED BUILDING
PROPOSED FACE OF CURB
PROPOSED BACK OF CURB
PROPOSED SIDEWALK
PROPOSED CENTERLINE
STREAM CORRIDOR
PROTECTION ZONE
100-YR FLOODPLAIN
FLOODWAY
PROPOSED ASPHALT PAVEMENT
PROPOSED HEAVY DUTY CONCRETE PAVEMENT
PROPOSED CONCRETE SIDEWALK
PROPOSED RESIDENT AMENITY AREA

ZONING:	C-2 (SD-3)
SITE ACREAGE:	0.852 AC
IMPERVIOUS AREA:	0.51 AC
BUILDING AREA:	3,963
REQUIRED PARKING:	20
PROPOSED PARKING:	17
PROVIDED DRIVE-THRU:	9
REQUIRED ADA PARKING:	1
REQUIRED ADA PARKING:	1

ALL PAVEMENT MARKINGS ARE TO BE WHITE.

[illegible]

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DESIGNED BY: LLB
DRAWN BY: LLB
CHECKED BY: TGJ

SITE PLAN

**FINAL DEVELOPMENT PLAN FOR
CREDIT UNION OF OHIO**
2399 OLD STRINGTOWN ROAD
GROVE CITY, FRANKLIN COUNTY, OH, 43122

ORIGINAL ISSUE:
12/20/2024

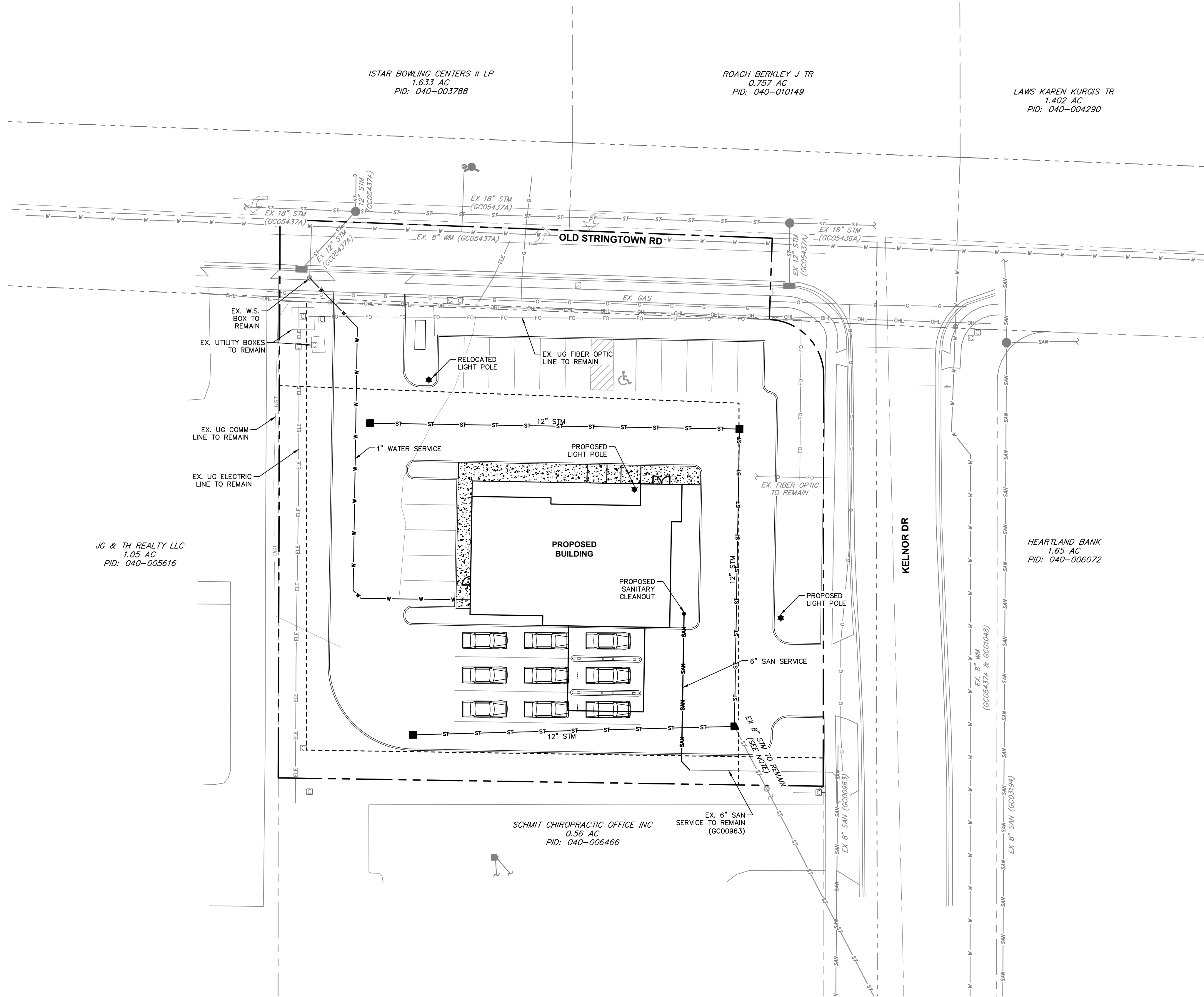
KHA PROJECT NO.

SHEET NUMBER

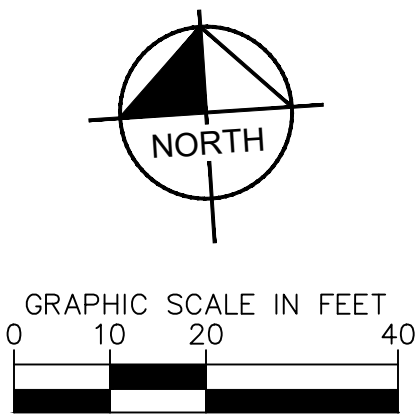
3

OF 7

Drawing name: \\Kimley-Horn.com\WW_CLB\CLB_DEV\190347000_Credit Union of Ohio_Grove City\2 Utility Plan.dwg Dec 20, 2024 11:12am by: Myr-Johnson
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INDEX MAP
SCALE: 1"=20'



LEGEND

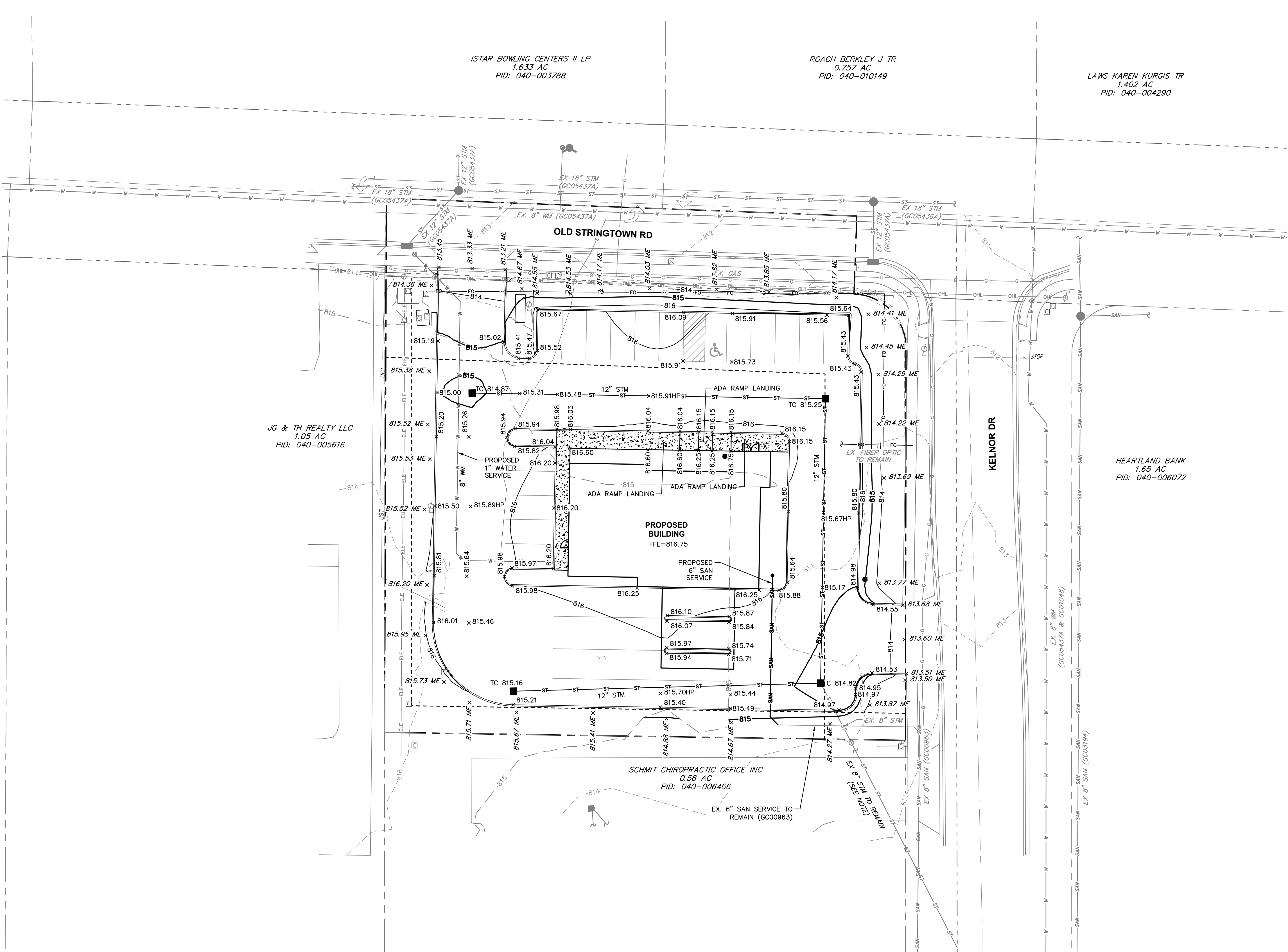
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| --- | EXISTING PROPERTY LINE |
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| --- | EXISTING PAVEMENT |
| --- | EXISTING BUILDING |
| --- | EXISTING STREAM |
| --- | EXISTING VEGETATION |
| --- | EXISTING SANITARY SEWER |
| --- | EXISTING STORM SEWER |
| --- | EXISTING MANHOLE |
| --- | EXISTING CURB INLET |
| --- | EXISTING WATER LINE |
| --- | PROPOSED SETBACK |
| --- | PROPOSED BUILDING |
| --- | PROPOSED FACE OF CURB |
| --- | PROPOSED BACK OF CURB |
| --- | PROPOSED SIDEWALK |
| --- | PROPOSED CENTERLINE |
| --- | STREAM CORRIDOR |
| --- | PROTECTION ZONE |
| --- | 100-YR FLOODPLAIN |
| --- | FLOODWAY |
| --- | PROPOSED SANITARY SERVICE |
| --- | PROPOSED STORM SEWER |
| --- | PROPOSED MANHOLE |
| --- | PROPOSED CATCH BASIN |
| --- | PROPOSED WATER LINE |

NOTES

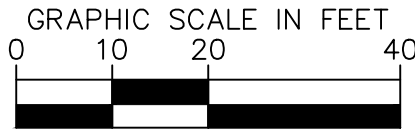
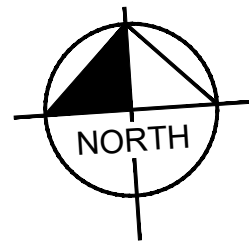
EXISTING 8" STORM SEWER ONSITE (RECORD DRAWING NUMBER UNKNOWN) IS TRIBUTARY TO 18" STORM SEWER ON KELNOR DRIVE PER KELLER FARM SUBDIVISION PHASE 1 - STREET, STORM, & WATER PER GC01048.

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FINAL DEVELOPMENT PLAN FOR CREDIT UNION OF OHIO 2399 OLD STRINGTOWN ROAD GROVE CITY, FRANKLIN COUNTY, OH, 43123		ORIGINAL ISSUE: 12/20/2024		KHA PROJECT NO. 190347000		SHEET NUMBER 4	
UTILITY PLAN		DATE		BY			

Drawing name: \\kimley-horn.com\WW_CLB\CLB_DEV\190347000_Credit Union of Ohio_Grove City\2 Design\CAD\PlanSheets\Final Development Plan\Grading Plan.dwg GRADING PLAN Dec 20, 2024 11:22am by: tye.johnson
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INDEX MAP
SCALE: 1"=20'



LEGEND

- EXISTING SITE BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING PAVEMENT
- EXISTING BUILDING
- EXISTING STREAM
- EXISTING VEGETATION
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING MANHOLE
- EXISTING CURB INLET
- EXISTING WATER LINE
- PROPOSED SETBACK
- PROPOSED BUILDING
- PROPOSED FACE OF CURB
- PROPOSED BACK OF CURB
- PROPOSED SIDEWALK
- PROPOSED CENTERLINE
- STREAM CORRIDOR
- PROTECTION ZONE
- 100-YR FLOODPLAIN
- FLOODWAY
- PROPOSED SANITARY SERVICE
- PROPOSED STORM SEWER
- PROPOSED MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED WATER LINE
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR

NOTES

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GRADING PLAN

FINAL DEVELOPMENT PLAN FOR
CREDIT UNION OF OHIO
2399 OLD STRINGTOWN ROAD
GROVE CITY, FRANKLIN COUNTY, OH, 43123

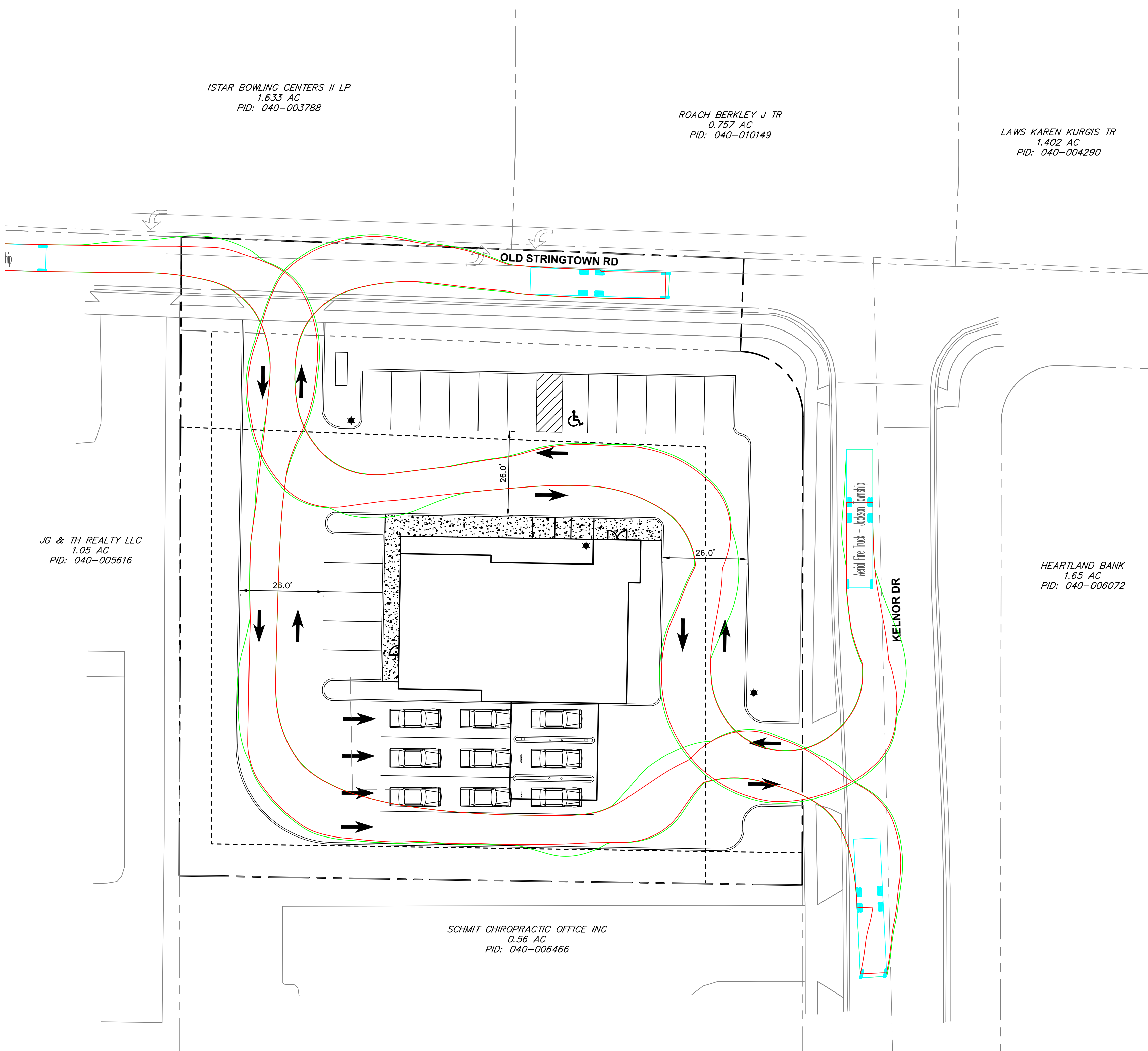
ORIGINAL ISSUE:
12/20/2024
KHA PROJECT NO.
190347000
SHEET NUMBER
5
OF 7

REVISIONS

DATE

BY

Drawing name: \\Kimley-Horn.com\WW_CLB\CLB_DEV\190347000_Credit Union of Ohio_Grove City\2 Design\CAD\PlanSheets\Final Development Plan\Fire Truck Maneuverability Plan.dwg Dec 20, 2024 11:12am by: Tyler Jackson
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INDEX MAP
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LEGEND

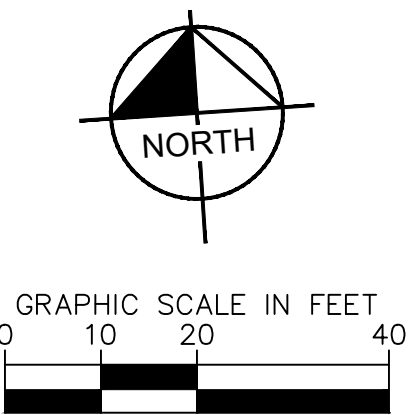
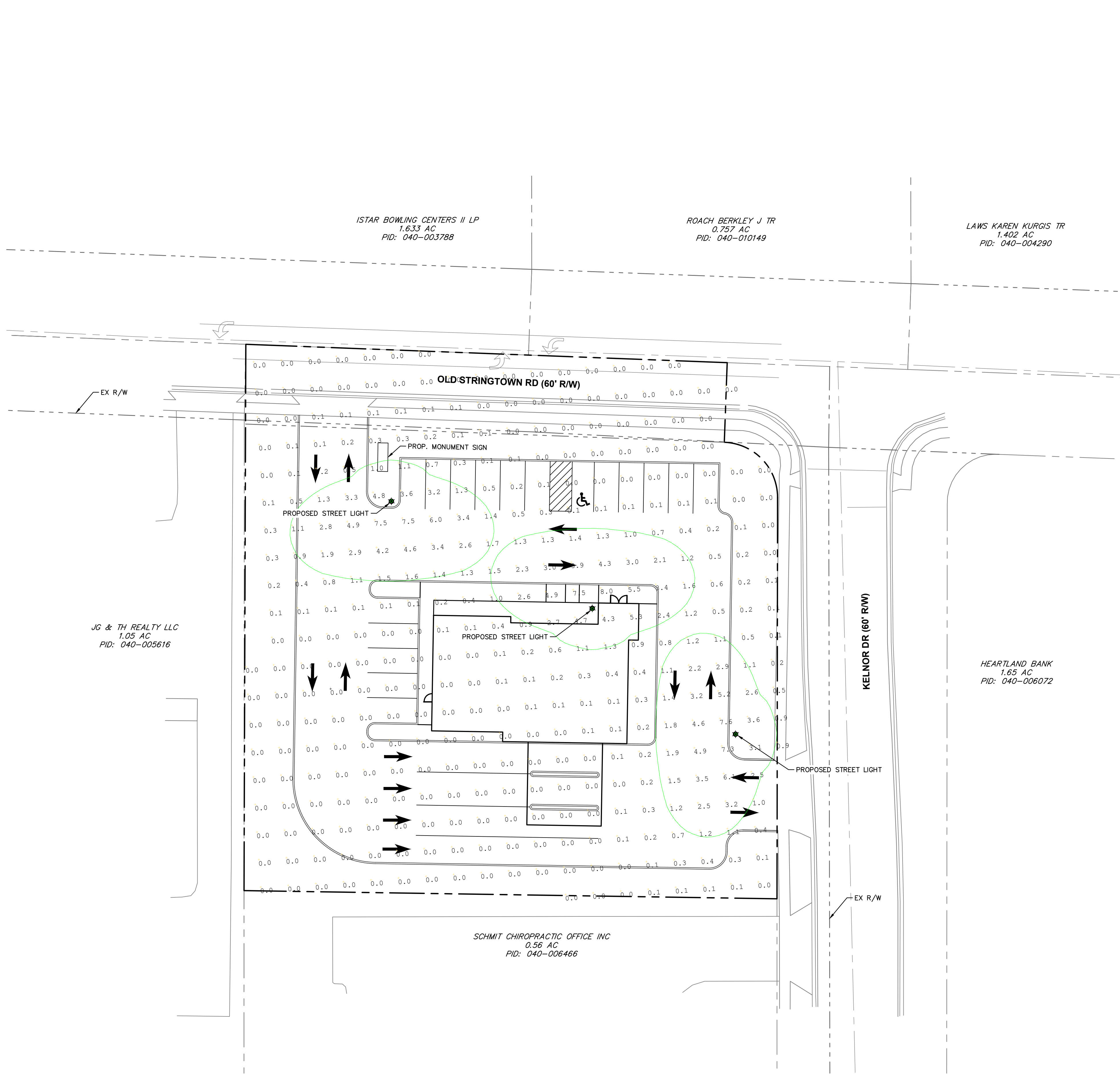
- EXISTING SITE BOUNDARY
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING PAVEMENT
- EXISTING STREAM
- PROPOSED BUILDING SETBACK
- PROPOSED LOT LINE
- PROPOSED FACE OF CURB
- PROPOSED CENTERLINE
- BUMPER OVERHANG
- WHEEL PATH

NOTES

1. THE FIRE TRUCK SHOWN ABOVE IS DIMENSIONED ACCORDING TO THE "JACKSON TOWNSHIP FIRE DEPARTMENT NEW CONSTRUCTION REQUIREMENTS"

ORIGINAL ISSUE: 12/20/2024		KHA PROJECT NO. 190347000		SHEET NUMBER 6 OF 7	
FINAL DEVELOPMENT PLAN FOR CREDIT UNION OF OHIO 2399 OLD STRINGTOWN ROAD GROVE CITY, FRANKLIN COUNTY, OH, 43123		FIRE TRUCK MANEUVERABILITY PLAN		Kimley»Horn © 2024 KIMLEY-HORN AND ASSOCIATES, INC. 7865 N. HIGH STREET, SUITE 200 COLUMBUS, OH 43235 TEL: 614.891.8888 WWW.KIMLEY-HORN.COM	
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		CHECKED BY: TJJ		No.	
				REVISIONS	
				DATE	
				BY	

Drawing name: \\kimley-horn.com\WW_CLB\CLB_DEV\190347000_Credit Union of Ohio Grove City\2 Design\CAD\Drawings\Final Development Plan\Lighting and Photometrics.dwg SITE PLAN Dec 20, 2024 11:12am By: Tyler Jackson
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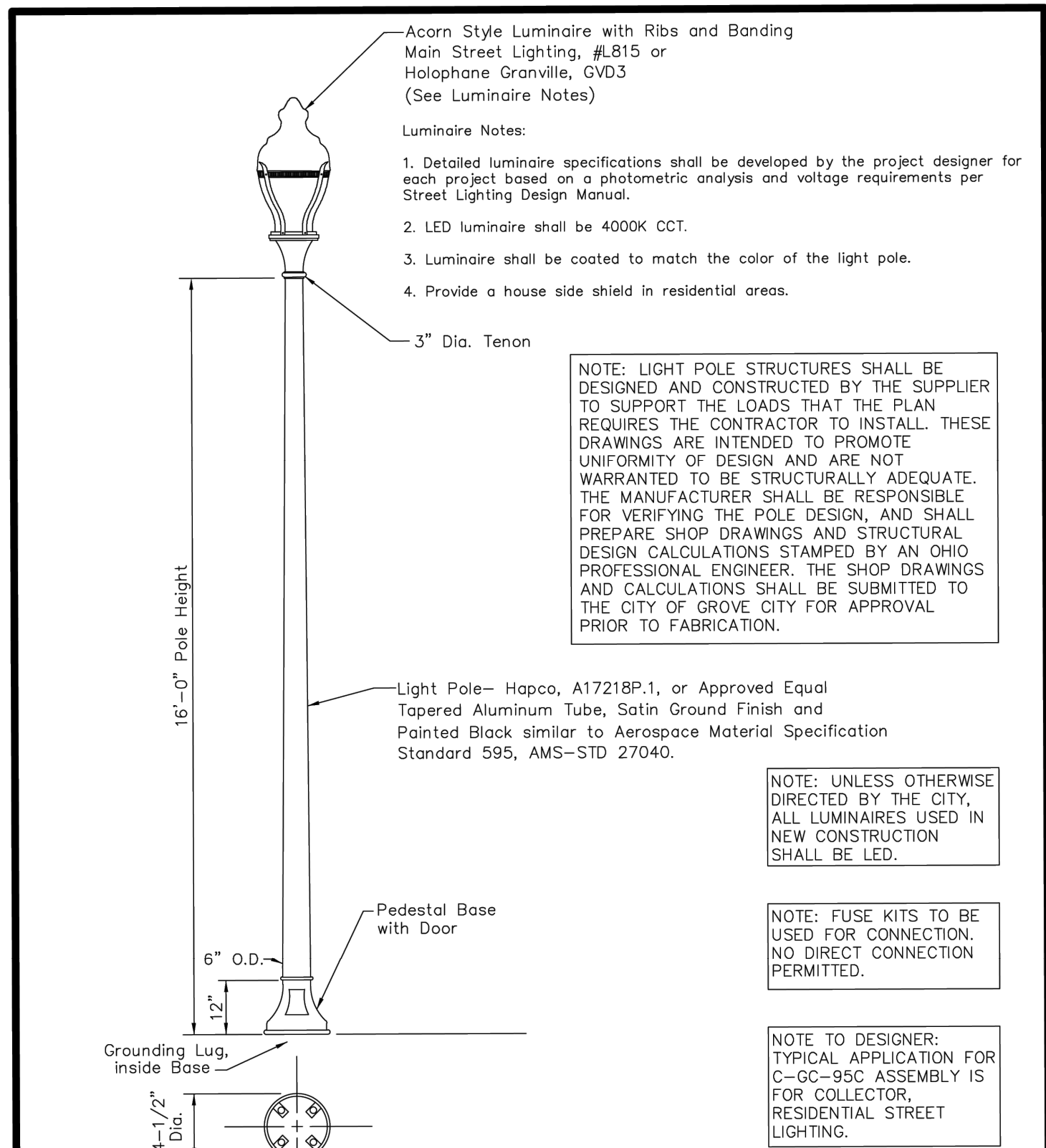


NOTES

- STREET NAME SIGNS SHALL BE MANUFACTURED AND INSTALLED PER CITY OF GROVE CITY STANDARD DRAWING C-GC-40.
- PERMANENT MARKINGS SHALL BE PER ODOT ITEM 644.
- STOP BARS SHALL BE 20" WIDE, WHITE.
- STREET LIGHT FIXTURES TO BE POST TOP LIGHT POLE WITH LANTERN STYLE LUMINAIRE (PER DETAIL C-GC-95B).
- ALL TRAFFIC CONTROL SIGNAGE SHALL HAVE STEEL POSTS PAINTED BLACK WITH OVERSIZED BACKER PLATES PAINTED BLACK.
- CITY OF COLUMBUS STANDARDS AND SPECIFICATIONS SHALL BE USED FOR ALL CONDUIT, CABLE, FOUNDATIONS, AND PULL BOXES. THE CONTRACTOR SHALL PROVIDE A MATERIAL SUBMITTAL (INCLUDING LUMINAIRE, POLE, FOUNDATION CONCRETE, REINFORCEMENT, CONDUIT, CABLE, CONNECTOR KIT, LIGHTING CONTROL, ETC) BEFORE ORDERING ANY MATERIALS.

LEGEND

	EXISTING PROPERTY LINE
	EXISTING PROPERTY BOUNDARY
	EXISTING MUNICIPAL BOUNDARY
	EXISTING RIGHT-OF-WAY
	EXISTING PAVEMENT
	EXISTING STREAM
	EXISTING OVERHEAD POWER LINES
	PROPOSED RIGHT-OF-WAY
	PROPOSED PROPERTY LINE
	PROPOSED CENTERLINE
	PROPOSED FACE OF CURB
	PROPOSED SIDEWALK
	PROPOSED BASIN
	PROPOSED ACCESS EASEMENT
	PROPOSED STREET LIGHT
	STREAM CORRIDOR PROTECTION ZONE

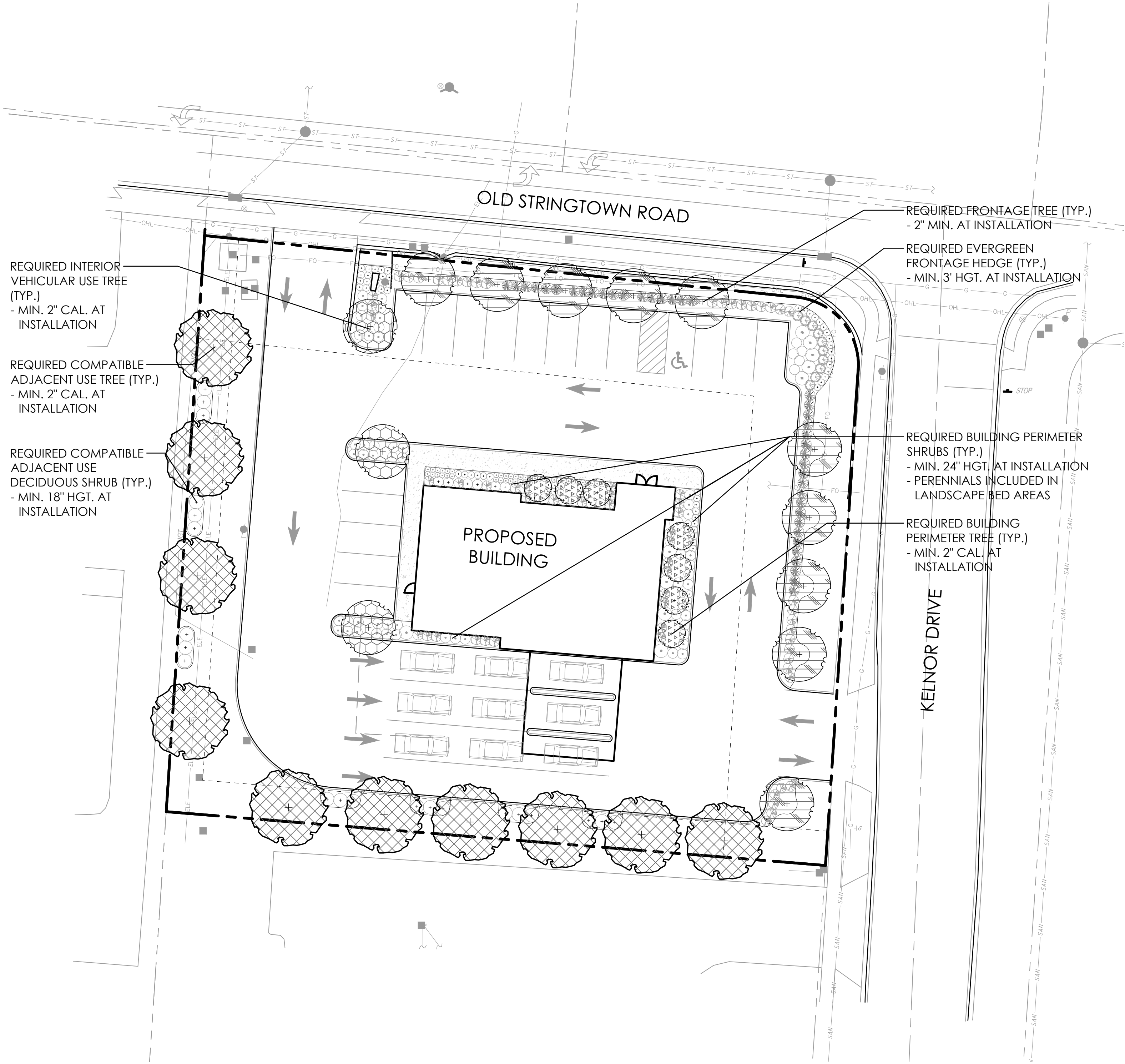


Approved By:
City Engineer, ERIH&H Inc.
City Service Director

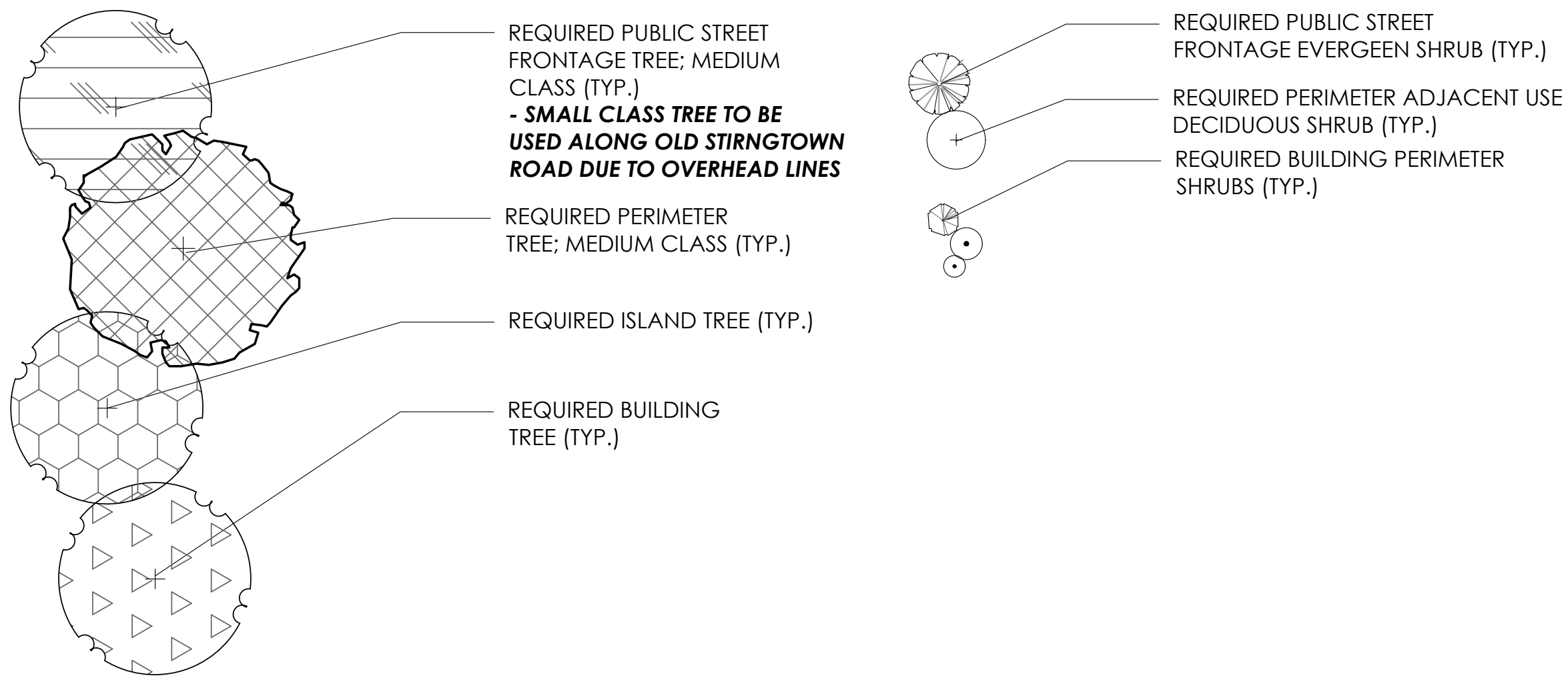
STANDARD DIMENSIONS
FOR
STREET LIGHTING
POST TOP LIGHT POLE WITH
ACORN STYLE LUMINAIRE

CITY OF
GROVE CITY, OHIO
STANDARD
CONSTRUCTION DRAWING
Revised May 2022 Drawing No. C-GC-95C

SCALE: AS NOTED	DESIGNED BY: LLB	DRAWN BY: LLB	CHECKED BY: TJJ
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LIGHTING & PHOTOMETRICS PLAN			
FINAL DEVELOPMENT PLAN FOR CREDIT UNION OF OHIO 2399 OLD STRINGTOWN ROAD GROVE CITY, FRANKLIN COUNTY, OH, 43123			
ORIGINAL ISSUE: 12/20/2024 KHA PROJECT NO. 190347000 SHEET NUMBER 7 OF 7			
REVISIONS DATE BY			



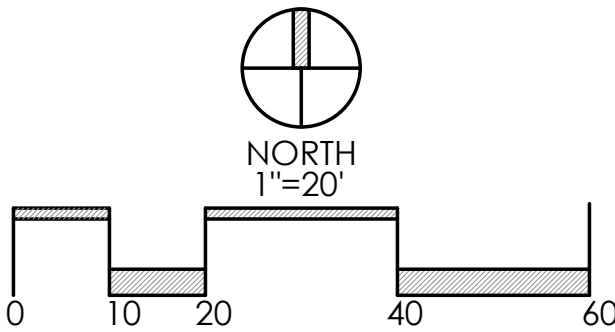
PLANT KEY TYPICALS



LANDSCAPE REQUIREMENTS - GROVE CITY, OHIO

SECTION 1136.06 STANDARDS FOR OFF STREET PARKING	REQUIRED	PROVIDED
A.2. FRONTAGE ALONG PUBLIC STREETS	FOR CAR PARKING LOTS EXCEEDING 7,000 SF OR 25 CARS: - OPTION A: 15'-0" MIN PARKING/DRIVE AISLE SETBACK WITH CONTINUOUS 3'-0" HEIGHT EVERGREEN HEDGE. - OPTION B: 15'-0" MIN PARKING/DRIVE AISLE SETBACK WITH CONTINUOUS 3'-0" MIN TO 5'-0" MAX HEIGHT WALL CONSTRUCTED OF LIKE MATERIALS USED ON BUILDING. - OPTION C: 25'-0" MIN PARKING/DRIVE AISLE SETBACK WITH CONTINUOUS 3'-0" HEIGHT MIN EARTHEN MOUND. OPTION CAN INCLUDE COMBINATION OF WALLS AND 3'-0" HEIGHT EVERGREEN HEDGE. ADDITIONALLY ONE (1) MEDIUM OR LARGE CLASS TREE, OF MINIMUM 2" CALIPER, PER 35 FEET OF FRONTAGE. SITE CONTAINS ± 349.42 FEET OF PUBLIC STREET FRONTAGE REQUIRING 9.98 TREES	OPTION 'A' PROVIDED FOR ±17,776.25 SF OF PARKING LOT AREA 10 PROPOSED TREES FOR PUBLIC STREET FRONTAGE PROVIDED - (5) SMALL CLASS TREES ALONG OLD STRINGTOWN ROAD DUE TO OVERHEAD LINES - (5) MEDIUM CLASS TREES ALONG KELNOR DRIVE 15' SETBACK IS NOT REQUIRED DUE TO APPROVED SPECIAL USE PERMIT
B. REAR AND SIDE YARDS ADJACENT TO COMPATIBLE USE DISTRICTS	MINIMUM 10'-0" CAR PARKING/DRIVE AISLE SETBACK. SETBACK PLANTED WITH: ONE 2" MIN CALIPER LARGE OR MEDIUM CLASS TREES AND TWO 18" HEIGHT DECIDUOUS SHRUBS PER 40 LINEAL FEET OF PROPERTY LINE FOR ALL VEHICULAR USE AREAS. EVERGREEN TREES CAN BE PLANTED IN LIEU OF LARGE/MEDIUM CLASS TREES, MINIMUM 6' HEIGHT AND ONE TREE PER 20 LINEAL FEET AND TWO 18" HEIGHT DECIDUOUS SHRUBS PER 40 LINEAL FEET. SITE CONTAINS ± 363.45 FEET OF REAR AND SIDE YARD SETBACKS REQUIRING 9.08 TREES AND 18.17 DECIDUOUS SHRUBS	- 10 MEDIUM CLASS TREES AND 21 DECIDUOUS SHRUBS PROVIDED
D. INTERIOR VEHICULAR USE AREAS	WITHIN INTERIOR VEHICULAR USE AREAS: PENINSULAS, ISLANDS, AISLE END ISLANDS AND PLANTING AREAS ARE TO CONTAIN AT LEAST ONE 2" MIN CALIPER LARGE OR MEDIUM CLASS TREE.	17 SPACES PROVIDED ISLANDS WITH 3 MEDIUM CLASS TREES PROVIDED
SECTION 1136.09 OTHER PLANTING REQUIREMENTS		
A3. PROFESSIONAL SERVICES, MEDICAL, EDUCATIONAL, SERVICE, AND MISCELLANEOUS USE DISTRICTS.	THERE SHALL BE A TREE PLANTED FOR EVERY 40 LINEAL FEET OF BUILDING PERIMETER OR FRACTION THEREOF. TREES MAY BE EITHER SMALL, MEDIUM, OR LARGE CLASS SPECIES. LARGE, MEDIUM OR SMALL SPECIES TREES SHALL BE 2" MINIMUM CALIPER. 6'-0" MINIMUM HEIGHT EVERGREEN TREES MAY BE SUBSTITUTED FOR UP TO 30% OF DECIDUOUS TREE REQUIREMENT. TREES ARE TO BE ARRANGED AROUND ALL SIDES OF THE BUILDING WITHIN 64 SQUARE FEET MINIMUM OF LAWN OR LANDSCAPED AREAS. IN ADDITION A MINIMUM OF 40 SQUARE FEET OF LANDSCAPED AREA SHALL BE REQUIRED FOR EACH 50 LINEAL FEET OF BUILDING PERIMETER OR FRACTION THEREOF. THESE LANDSCAPED AREAS ARE TO BE CONSTRUCTED ADJACENT TO THE BUILDING AND ARE TO CONTAIN SHRUBS, GROUND COVER, OR OTHER ORNAMENTAL PLANTINGS. THE AVERAGE INITIAL HEIGHT OF THESE PLANTINGS IS TO BE 24" MINIMUM AT 5'-0" MAXIMUM SPACING. ANNUALS AND PERENNIALS ARE PERMITTED IN COMBINATION WITH PERMANENT PLANT MATERIALS. THE AVERAGE INITIAL HEIGHT OF THE PLANTINGS IS TO BE 24" MINIMUM. IRRIGATION SHALL BE REQUIRED ON 75% - 100% OF THE ENTIRE PROPERTY WITH EMPHASIS ON AREAS ALONG PRIMARY AND SECONDARY ROADWAYS AND 100% OF ALL LANDSCAPE AREAS ADJACENT TO THE STRUCTURE	BUILDING PERIMETER = ± 254.61 LINEAL FEET - 6.37 TREES REQUIRED - 203.69 SF OF LANDSCAPE AREA REQUIRED ADJACENT TO THE BUILDING - (7) SMALL TREES & ±1,234 SF LANDSCAPE AREA PROVIDED ADJACENT TO BUILDING. IRRIGATION LIMITS SHALL BE PROVIDED
B. STREET TREE REQUIREMENTS	UPON APPLICATION OF BUILDING PERMIT OF A NEW BUILDING OR STRUCTURE, DEVELOPER SHALL PAY AN URBAN FORESTRY FEE OF \$450 PER LOT TO THE CITY'S COMMUNITY ENVIRONMENT FUND.	FEE TO BE PAID BY DEVELOPER

PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS

LANDSCAPE
REQUIREMENTS
PLAN

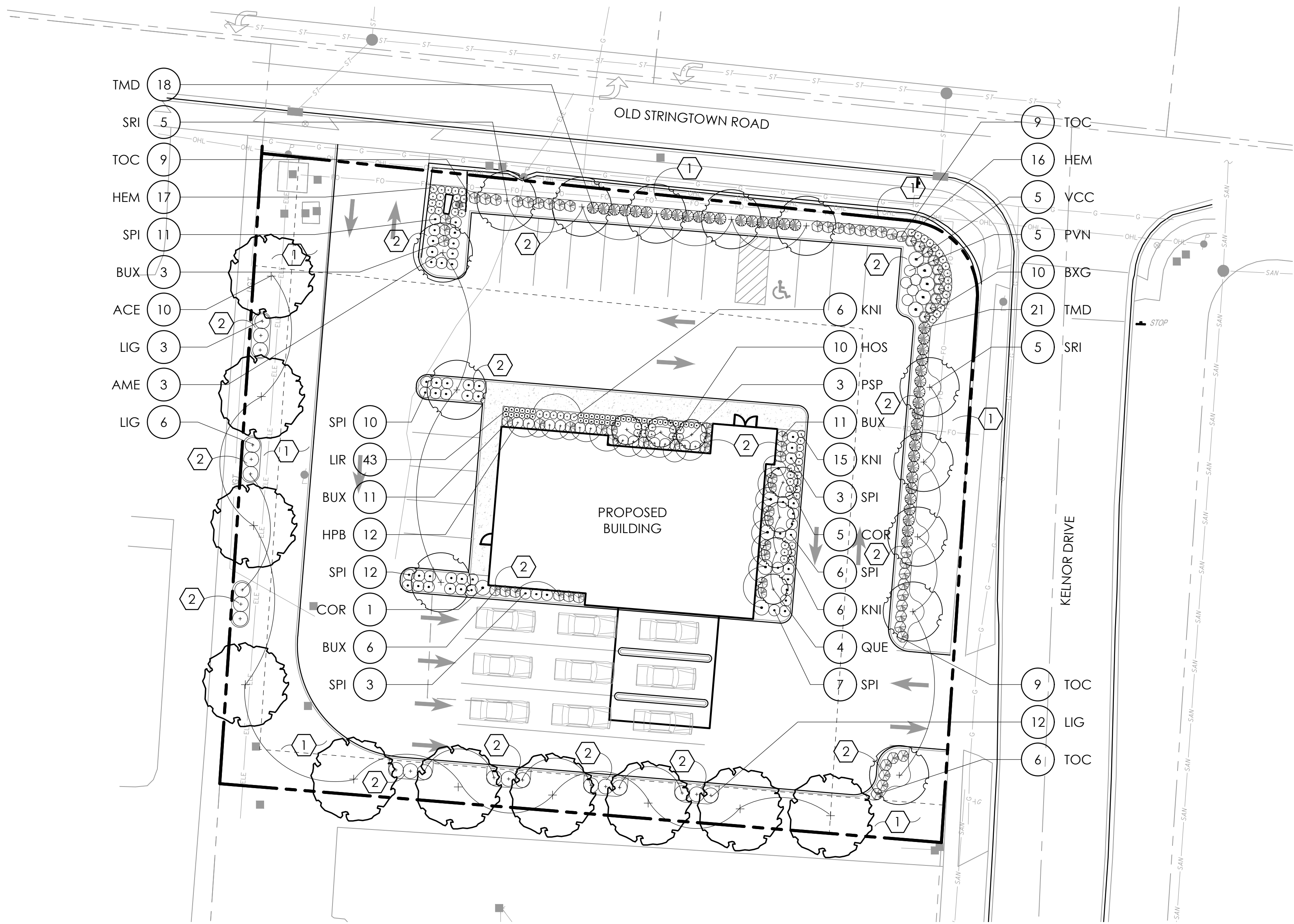
CREDIT UNION OF OHIO
PREPARED FOR
KIMLEY-HORN
7965 N. HIGH STREET, SUITE 200
COLUMBUS, OH 43235

Paris Planning & Design

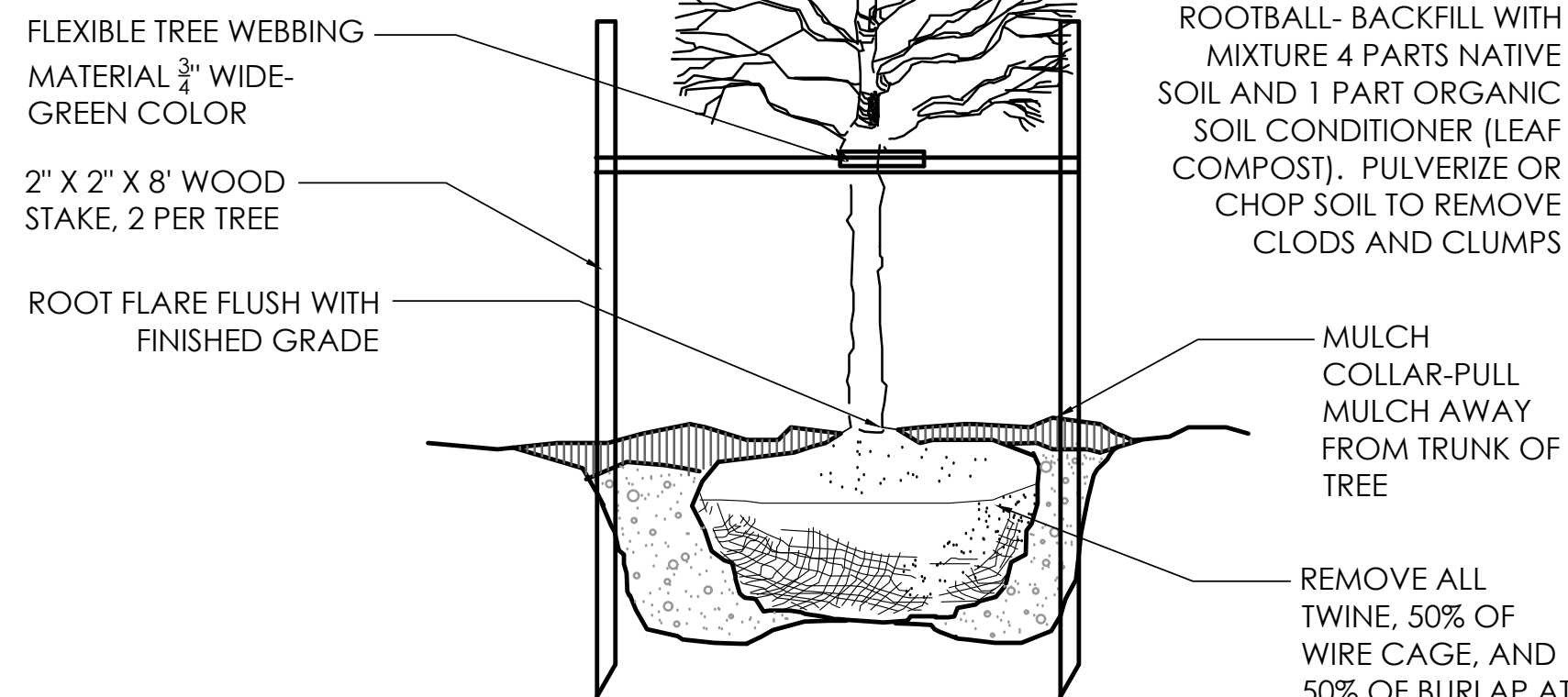
LAND PLANNING • LANDSCAPE ARCHITECTURE
Hilliard, OH 43026
4876 Cemetery Road
P (614) 487-1944
www.parisplanninganddesign.com

DATE	12/16/24
PROJECT	XXXXXX
SHEET	

LR-1

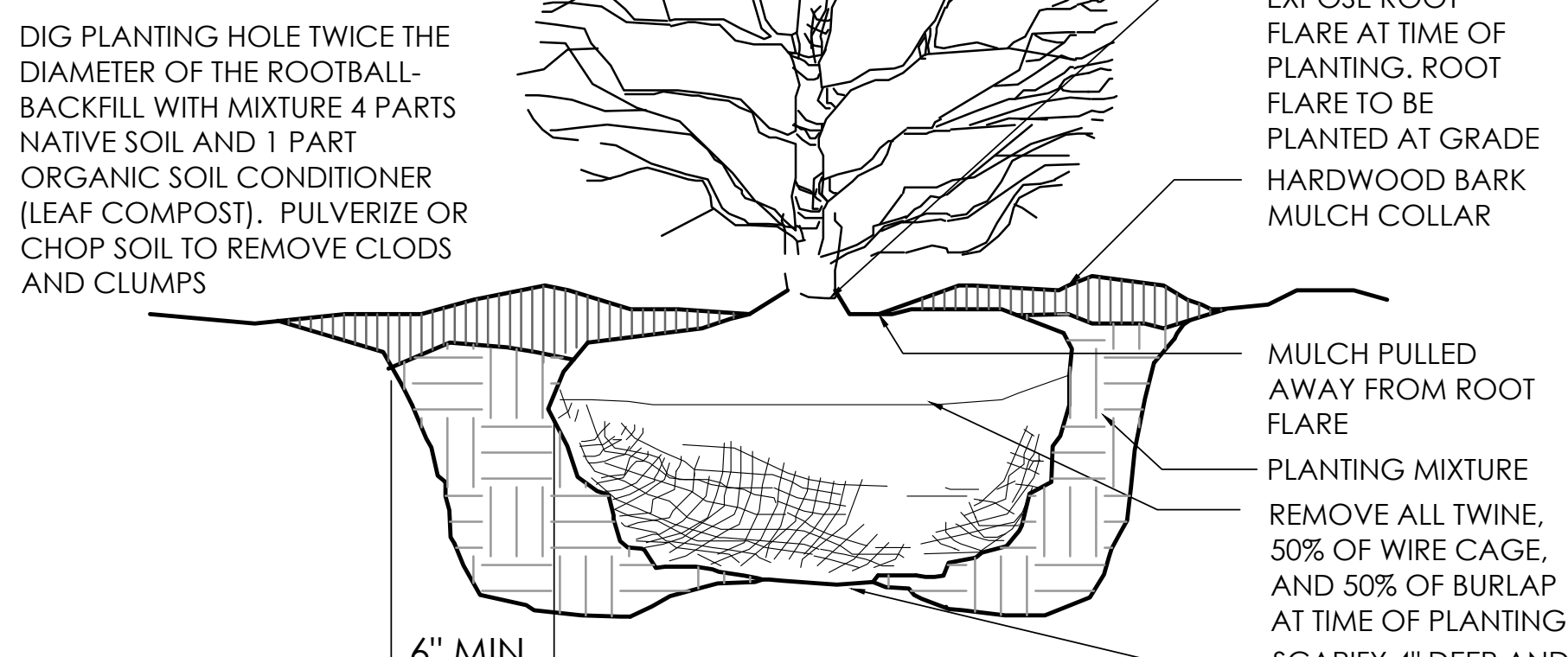


NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING
SHALL BE LIMITED TO THE MINIMUM
NECESSARY TO REMOVE DEAD OR INJURED
TWIGS & BRANCHES. RETAIN NORMAL
SHAPE. PLANT TREES AND EVERGREENS SO
THE ROOT FLARE IS 2'-3" ABOVE FINISH
GRADE



1 DECIDUOUS TREE
N.T.S. 01-1001

NOTE:
THE AMOUNT OF TREE AND SHRUB PRUNING
SHALL BE LIMITED TO THE MINIMUM
NECESSARY TO REMOVE DEAD OR INJURED
TWIGS & BRANCHES. RETAIN NORMAL
SHAPE. REMOVE EXCESS SOIL FROM THE
TOP OF ROOT MASS. PLANT SHRUBS WITH
TOP OF ROOT MASS AT FINISH GRADE.



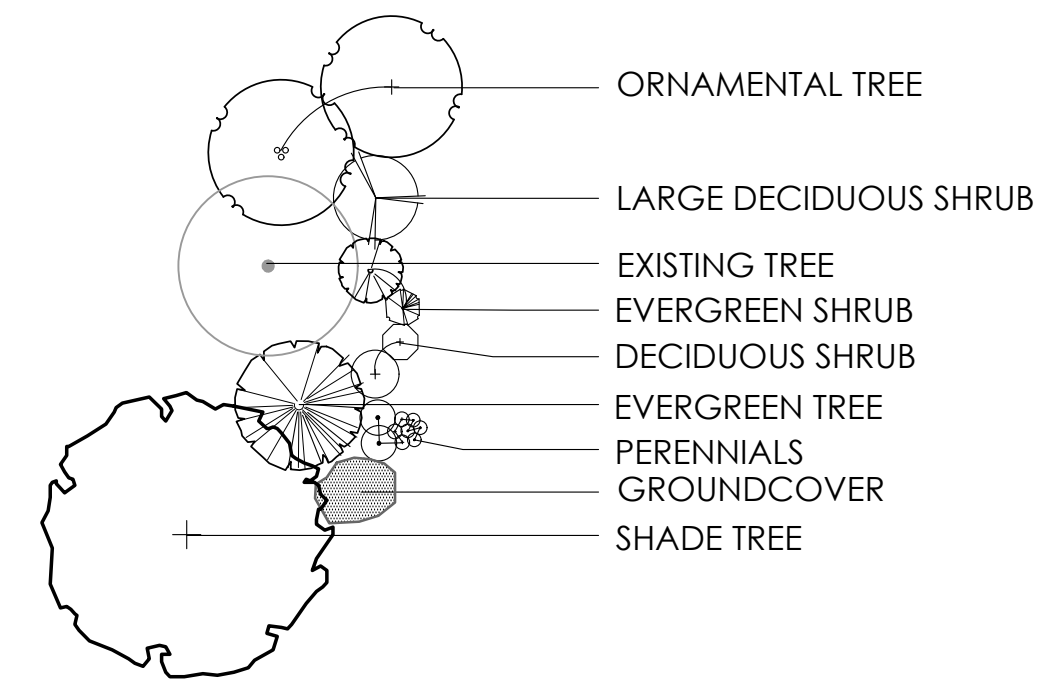
2 SHRUB PLANTING DETAIL
N.T.S. 01-1300

GENERAL PLANTING NOTES:

- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE USA STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- PLANT LOCATIONS AND BEDS SHALL BE LOCATED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL HAVE A MINIMUM 3" DEEP SHREDDED HARDWOOD BARK MULCH. MULCH HEDGES IN A CONTINUOUS BED.
- ALL PLANTING BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12".
- ALL PLANTING BEDS TO BE FERTILIZED WITH 10-10-10 OR APPROVED EQUAL.
- SODDING / SEEDING BY LANDSCAPE CONTRACTOR.
- THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL AREAS DISTURBED BY CONSTRUCTION ARE TO BE RESTORED, FINE GRADED AND SEEDED/ SODDED.
- ALL EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS TO BE PRESERVED UNLESS SPECIFICALLY NOTED OTHERWISE.

PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



GENERAL NOTES:

- ALL SERVICE STRUCTURES ON THIS PLAN OR ADDED DURING CONSTRUCTION SHALL BE SCREENED PER SECTION 1136.08 OF CODE.
- AREAS ALONG OLD STRINGTOWN ROAD AND/OR KELNOR ROAD DISTURBED DURING CONSTRUCTION WILL BE PLANTED WITH SOD.
- IN AREAS WHERE GRASS SEED WILL BE USED, NO LOOSE STRAW IS PERMITTED. THOSE AREAS SHALL RECEIVE PENN MULCH, HYDRO MULCH, OR STRAW MATTING THAT CAN BE FASTENED TO THE GROUND SHALL BE USED.

CONSTRUCTION NOTES

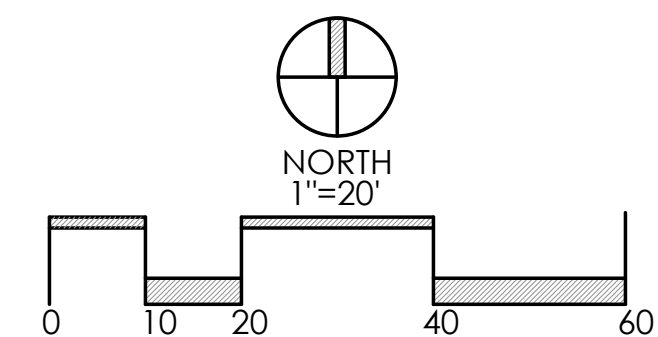
- LAWN AREA. PROVIDE POSITIVE DRAINAGE ACROSS ALL SURFACES.
- LANDSCAPE AREA. PROVIDE 3" DEPTH HARDWOOD MULCH. POSITIVE DRAINAGE ACROSS ALL SURFACES.

PLANT LIST

(CONTRACTOR RESPONSIBLE FOR ALL PLANTS SHOWN ON PLAN)

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TREES						
10	ACE	ACER RUBRUM 'FRANK JR.'	REDPOINTE MAPLE	2" CAL.	B&B	
3	AME	AMELANCHIER LAEVIS 'CUMULUS'	CUMULUS SERVICEBERRY	2" CAL.	B&B	SINGLE STEM
3	PSP	PARROTIA PERSICA 'JLCOLUMNAR'	PERSIAN SPIRE PARROTIA	2" CAL.	B&B	
4	QUE	QUERCUS ROBUR WAREI 'NADLER'	KINDRED SPIRIT HYBRID OAK	2" CAL.	B&B	
10	SRI	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2" CAL.	B&B	
SHRUBS						
31	BUX	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	24" HGT.	CONT.	
10	BXG	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	36" HGT.	CONT.	
6	COR	CORNUS ALBA 'LITTLE REBEL'	LITTLE REBEL RED TWIG DOGWOOD	24" HGT.	CONT.	
12	HPB	HYDRANGEA PANICULATA 'BOBO'	BOBO HARDY PANICLE HYDRANGEA	24" HGT.	CONT.	
21	LIG	LIGUSTRUM X VICARYI	GOLDEN VICARY PRIVET	18" HGT.	CONT.	
52	SPI	SPIRAEA JAPONICA 'SMNSJMFR'	DOUBLE PLAY RED SPIREA	24" HGT.	CONT.	
39	TMD	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	36" HGT.	CONT.	
33	TOC	THUJA OCCIDENTALIS 'CONGABE'	FIRE CHIEF ARBORVITAE	36" HGT.	CONT.	
5	VCC	VIBURNUM CARLESII 'CAYUGA'	CAYUGA KOREANSPICE VIBURNUM	36" HGT.	CONT.	
PERENNIALS/ORNAMENTAL GRASSES						
33	HEM	HEMEROCALLIS 'STELLA D'ORO'	STELLA D ORO DAYLILY	NO. 1	CONT.	
10	HOS	HOSTA FORTUNEI 'ALBOMARGINATA'	ALBO-MARGINATA HOSTA	NO. 1	CONT.	
27	KNI	KNIPHOFIA 'MANGO POPSICLE'	MANGO POPSICLE RED HOT POKER	NO. 1	CONT.	
43	LIR	LIRIOPE MUSCARI 'VARIEGATA'	VARIEGATED LILYTURF	NO. 1	CONT.	
5	PVN	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND UPRIGHT SWITCH GRASS	NO. 2	CONT.	

PRELIMINARY
NOT FOR CONSTRUCTION



REVISIONS

OVERALL LANDSCAPE PLAN

CREDIT UNION OF OHIO

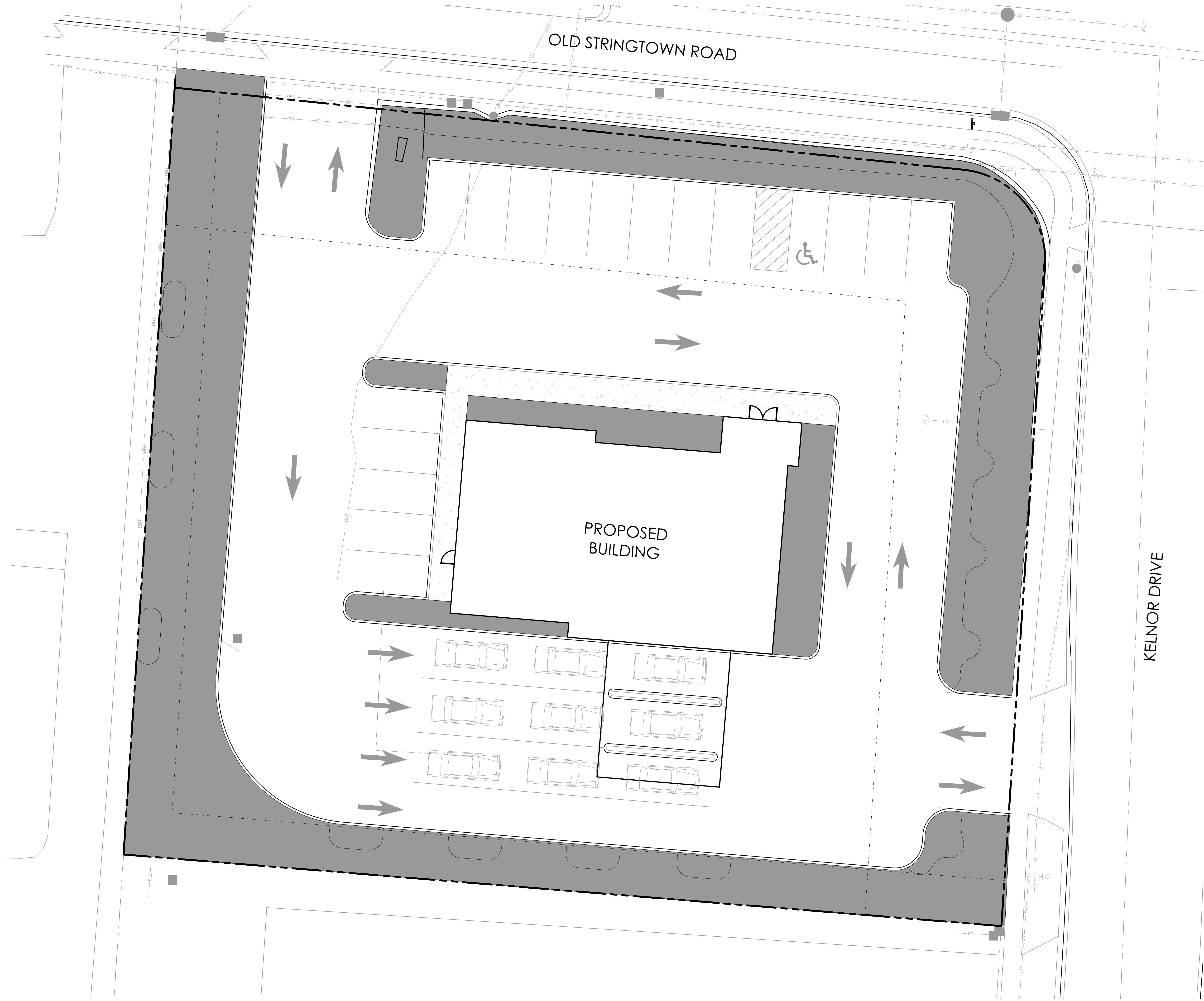
PREPARED FOR
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www.parisplanninganddesign.com

DATE	12/16/24
PROJECT	XXXXXX
SHEET	

L-1

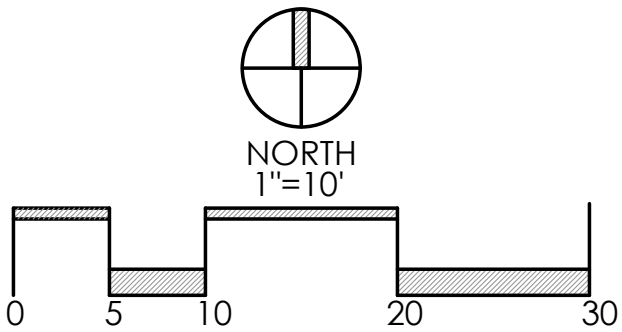


KELNOR DRIVE

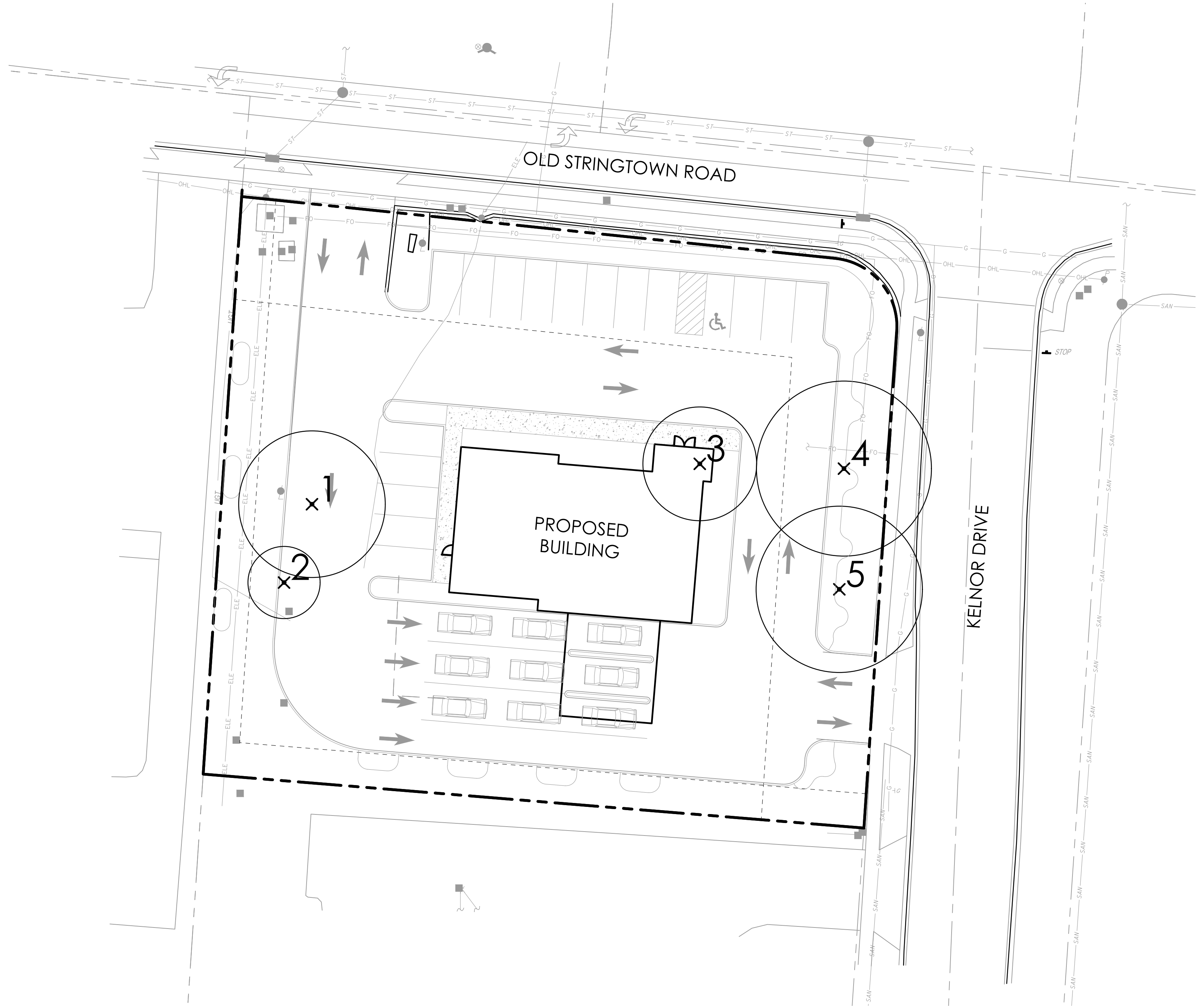
OLD STRINGTOWN ROAD

PROPOSED
BUILDING

PRELIMINARY
NOT FOR CONSTRUCTION

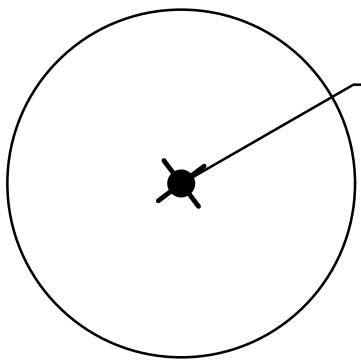


REVISIONS	
IRRIGATION LIMITS PLAN	
CREDIT UNION OF OHIO PREPARED FOR KIMLEY-HORN 7965 N. HIGH STREET, SUITE 200 COLUMBUS, OH 43235	
Paris Planning & Design LAND PLANNING • LANDSCAPE ARCHITECTURE 4876 Cemetery Road Hilliard, OH 43026 P (614) 487-1944 www.parisplanninganddesign.com	
DATE	12/16/24
PROJECT	XXXXXX
SHEET	
L-1.1	



PLANT KEY TYPICALS

SEE PLANT LIST FOR SPECIFIC PLANT SPECIES



EX. TREE TO BE REMOVED

TREE #	SIZE	SPECIES	CONDITION	STATUS
1	21	HONEYLOCUST	GOOD	REMOVE
2	11	JUNIPER	GOOD	REMOVE
3	17	HONEYLOCUST	GOOD	REMOVE
4	25	PEAR	GOOD	REMOVE
5	24	PEAR	GOOD	REMOVE

REVISIONS

TREE SURVEY

CREDIT UNION OF OHIO

PREPARED FOR
KIMLEY-HORN
7965 N. HIGH STREET, SUITE 200
COLUMBUS, OH 43235

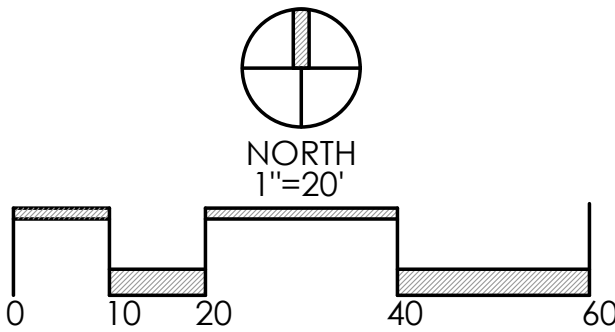
Paris Planning & Design

LAND PLANNING LANDSCAPE ARCHITECTURE
4876 Cemetery Road Hilliard, OH 43026
P (614) 487-1944 www.parisplanninganddesign.com

DATE	12/16/24
PROJECT	XXXXXX
SHEET	

L-2

PRELIMINARY
NOT FOR CONSTRUCTION



Date: 01/07/25
Introduced By: Ms. Burroughs
Committee: Lands
Originated By: Plan. Comm.
Sponsor:
Emergency: 30 Days:
Current Expense:

No.: CR-04-25
1st Reading: 01/21/25
Public Notice:
2nd Reading:
Passed: Rejected:
Codified: Code No:
Passage Publication:

RESOLUTION NO. CR-04-25

A RESOLUTION TO APPROVE THE PRELIMINARY DEVELOPMENT PLAN FOR BROADWAY LIVE LOCATED NORTH OF COLUMBUS STREET AND EAST OF BROADWAY

WHEREAS, on January 07, 2025, the Planning Commission recommended approval of the preliminary development plan for Broadway Live located North of Columbus Street and East of Broadway, as submitted – noting the expectations for additional community input.

NOW, THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. This Council hereby Broadway Live located North of Columbus Street and East of Broadway, as submitted.

SECTION 2. This resolution shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Richard L. Stage, Mayor

Passed:

Effective:

Attest:

Tami K. Kelly, MMC, Clerk of Council

I Certify that this resolution
is correct as to form.

Stephen J. Smith, Director of Law

INSPIRED PEOPLE CREATIVE DESIGN TRANSFORMING COMMUNITIES



ADJOINERS

(A) PERINI INSURANCE AGENCY, LLC
IN. 200808240123308
PARCEL 2

(B) MEGAN TUCKER
IN. 202104270074332
0.203 ACRES

(C) SABRINA EVANS + ISAAH EVANS
IN. 202111120206619
SEE ALSO
PB 17 PG 356
LOT 14

- 1 1 STORY COMMERCIAL BUILDING 3840 - 3846 BROADWAY
- 2 1 STORY COMMERCIAL BUILDING 3852 BROADWAY
- 3 1 STORY COMMERCIAL BUILDING 3338 E COLUMBUS ST
- 4 2 STORY BUILDING 3324 - 3328 E COLUMBUS ST
- 5 2 STORY BUILDING 3324 - 3328 E COLUMBUS ST
- 6 2 STORY BUILDING 3318 E COLUMBUS ST
- 7 2 STORY BUILDING 3312 E COLUMBUS ST
- 8 2 STORY BUILDING 3875 ARBUTUS AVE
- 9 1 STORY STEEL STORAGE BUILDING 3318 E COLUMBUS ST
- 10 1 STORY BUILDING 3875 ARBUTUS AVE

Received By:
Grove City Development
12/11/24

THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com
350 Worthington Rd
Suite B
Westerville, OH 43082
614.862.3111

SEAL:

NO. DATE DESCRIPTION
1 2/1/2022 ADDITIONAL TITLE COMMITMENT

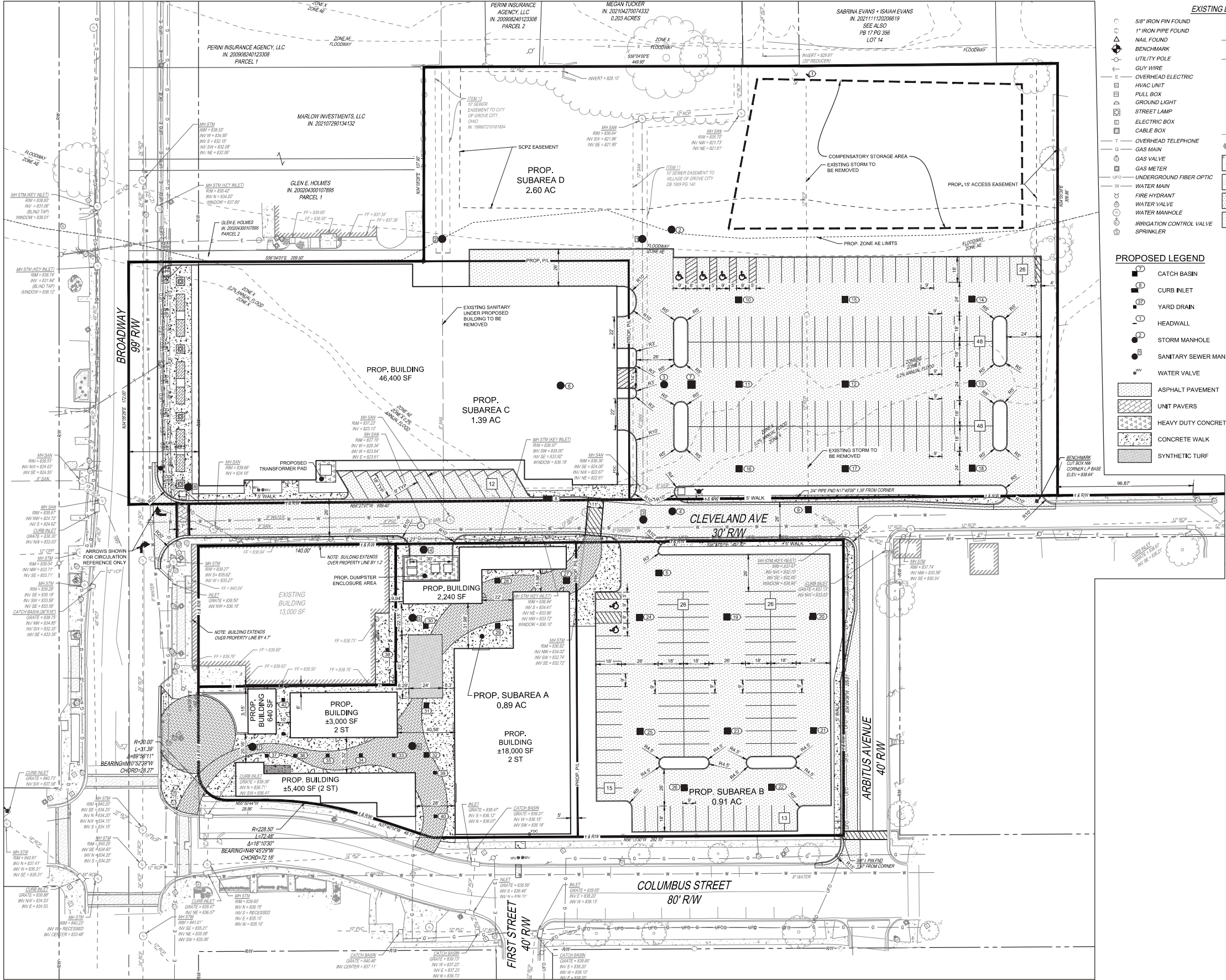
3920 BROADWAY
VMS 1388
CITY OF GROVE CITY
FRANKLIN COUNTY, OHIO

PROJECT NO: 210926.000
DATE: 12/29/2021
SCALE: 1" = 30'

SHEET NAME:
ALTA/NSPS LAND TITLE SURVEY

SHEET NO:
2 OF 2

INSPIRED PEOPLE CREATIVE DESIGN TRANSFORMING COMMUNITIES



- EXISTING LEGEND**
- 5/8" IRON PIN FOUND
 - 1" IRON PIPE FOUND
 - NAIL FOUND
 - BENCHMARK
 - UTILITY POLE
 - GUY WIRE
 - OVERHEAD ELECTRIC
 - HVAC UNIT
 - PULL BOX
 - GROUND LIGHT
 - STREET LAMP
 - ELECTRIC BOX
 - CABLE BOX
 - OVERHEAD TELEPHONE
 - GAS MAIN
 - GAS VALVE
 - GAS METER
 - UNDERGROUND FIBER OPTIC
 - WATER MAIN
 - FIRE HYDRANT
 - WATER VALVE
 - WATER MANHOLE
 - IRRIGATION CONTROL VALVE
 - SPRINKLER
 - SANITARY MANHOLE
 - CLEAN OUT
 - SANITARY SEWER
 - STORM MANHOLE
 - CATCH BASIN
 - INLET
 - YARD DRAIN
 - PULL BOX
 - DOWN SPOUT
 - SIGN
 - GUARD POST (PIPE BOLLARD)
 - FENCE POST
 - FENCE
 - HARDWOOD TREE
 - CONCRETE
 - GRAVEL
 - LANDSCAPE AREA
 - BRICK / PAVEMENT
- PROPOSED LEGEND**
- CATCH BASIN
 - CURB INLET
 - YARD DRAIN
 - HEADWALL
 - STORM MANHOLE
 - SANITARY SEWER MANHOLE
 - WATER VALVE
 - ASPHALT PAVEMENT
 - UNIT PAVERS
 - HEAVY DUTY CONCRETE PAVEMENT
 - CONCRETE WALK
 - SYNTHETIC TURF



SEAL:

NO. DATE DESCRIPTION

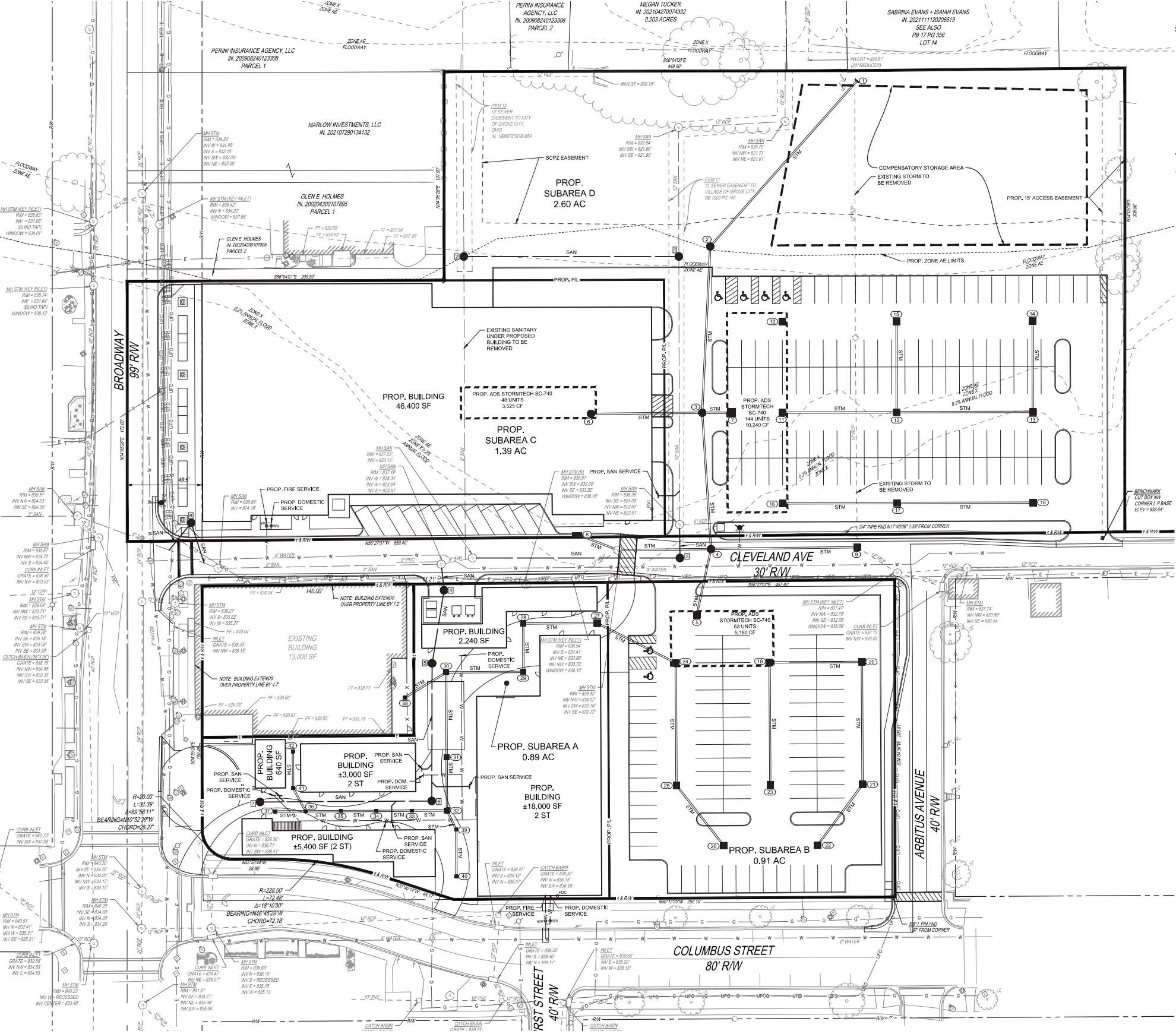
BROADWAY LIVE PRELIMINARY DEVELOPMENT PLAN
GROVE CITY, OHIO

PROJECT NO: 210926.002
DATE: 12/03/2024
SCALE: 0 15 30 60

SHEET NAME: **LOCATION PLAN**

SHEET NO: **2/4**

INSPIRED PEOPLE CREATIVE DESIGN TRANSFORMING COMMUNITIES



- PROPOSED LEGEND
- STM STORM SEWER PIPE
 - CATCH BASIN
 - CURB INLET
 - YARD DRAIN
 - HEADWALL
 - STORM MANHOLE
 - SANITARY SEWER MANHOLE
 - SAN SANITARY SEWER PIPE
 - WAT WATERLINE PIPE
 - WV WATER VALVE

THE KLEINGERS GROUP

CIVIL ENGINEERING SURVEYING LANDSCAPE ARCHITECTURE

www.kleingers.com

350 Worthington Rd
Suite 11
Westerville, OH 43082
(614) 862-4311

SEAL:	
NO. DATE DESCRIPTION	

BROADWAY LIVE PRELIMINARY DEVELOPMENT PLAN

GROVE CITY, OHIO

PROJECT NO:	210926.002
DATE:	12/03/2024
SCALE:	

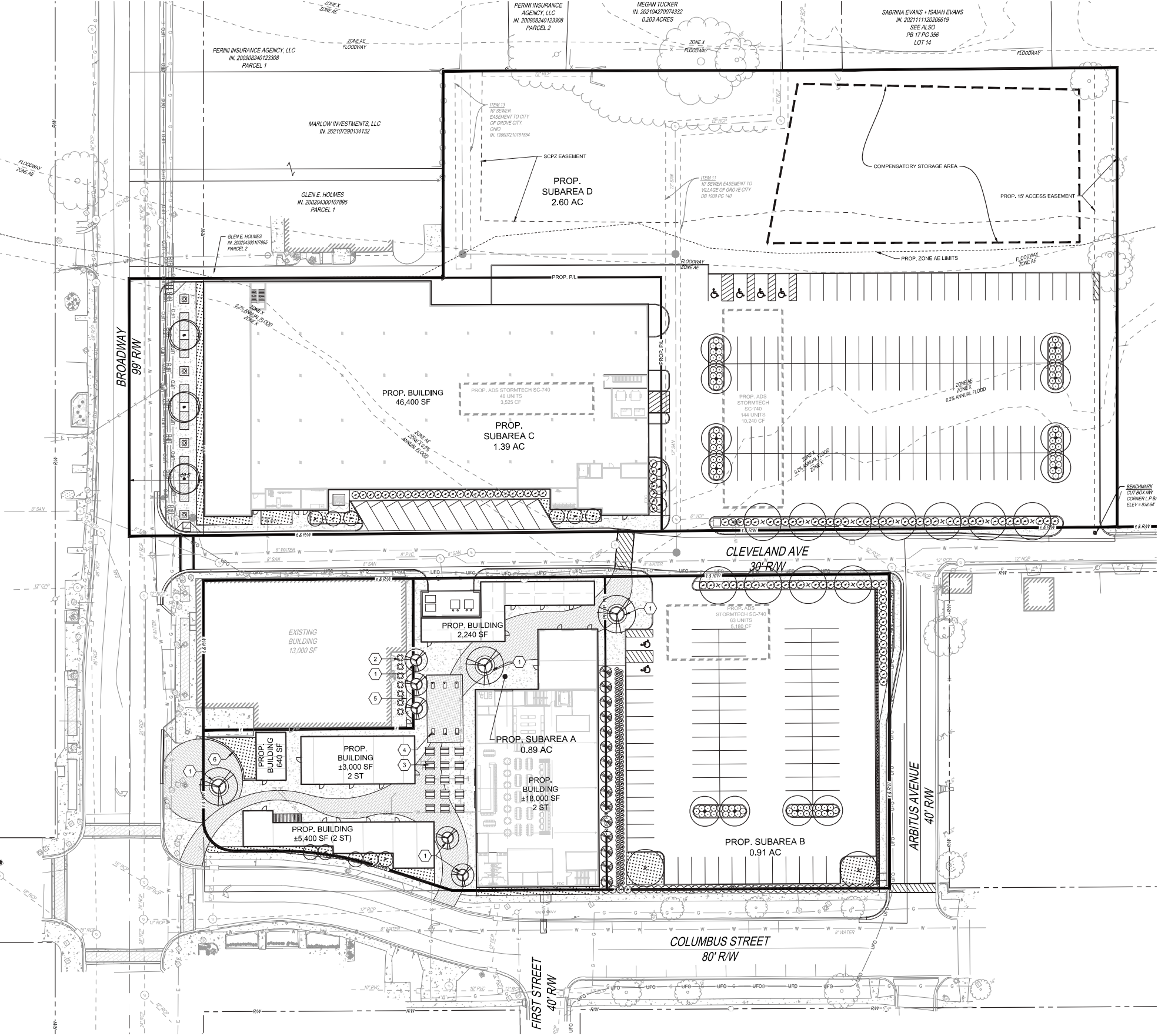
SHEET NAME:

UTILITY PLAN

SHEET NO.

3/4

INSPIRED PEOPLE CREATIVE DESIGN TRANSFORMING COMMUNITIES



- PLANTING NOTES**
1. EACH CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES.
 2. CONTRACTOR SHALL VERIFY ALL PLANTING CONDITIONS FOR OBSTRUCTIONS, EXISTING TREE CANOPY COVERAGE, AND OVERHEAD ELECTRICAL POWER LINES PRIOR TO PLANTING. IF ADVERSE PLANTING CONDITIONS ARE OBSERVED, CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY.
 3. ALL SHRUB MASSES TO BE INCORPORATED BY A CONTINUOUS MULCH BED TO LIMITS SHOWN AND AS SPECIFIED. MULCH BEDS TO HAVE A NEAT, EDGED APPEARANCE.
 4. SUBSURFACE IMPROVEMENTS SHALL BE OBSERVED. THE CONTRACTOR SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE (OUPS) 48 HOURS PRIOR TO ANY EXCAVATION OR DIGGING TO ENSURE THE LOCATION OF UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SUCH UNDERGROUND UTILITIES.
 5. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE FINE GRADED AND SEEDED.
 6. ALL TREES WITHIN A SPECIES SHALL HAVE MATCHING FORM.
 7. THE CONTRACTOR SHALL ENSURE THAT ALL NEWLY PLANTED TREES ARE PERFECTLY ALIGNED AND SET PLUMB WITH PROPER RELATIONSHIP TO THE SURROUNDING GRADE. CONFIRM FINISHED GRADE PRIOR TO PLANTING.
 8. ALL PLANT MATERIAL SHALL BE OF THE SIZE AND TYPE SPECIFIED, IF SUBSTITUTIONS ARE APPROVED BY THE OWNER'S REPRESENTATIVE, THE SIZE AND GRADING STANDARDS SHALL CONFORM TO THOSE OF AMERICANHORT.
 9. PRIOR TO ORDERING PLANT MATERIAL, THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLAN, LABELS, AND PLANT SCHEDULE.

LEGEND

- PROPERTY LINE**
- SURFACE ITEMS**
- CONCRETE PAVEMENT, TYP.
 - UNIT PAVERS, TYP.
 - SYNTHETIC TURF, TYP.
- PLANT MATERIAL**
- DECIDUOUS TREE, TYP.
 - EVERGREEN TREE, TYP.
 - SHRUBS, TYP.
 - PLANT BED, TYP.
 - EXISTING TREES TO REMAIN, PROTECT IN PLACE

- CONSTRUCTION NOTES:**
- 1. PLANTER, TYP.
 - 2. TABLES AND CHAIRS, TYP.
 - 3. PICNIC TABLES
 - 4. CORNHOLE BOARDS, TYP.
 - 5. 3'-0" TALL DECORATIVE FENCE
 - 6. LOW MASONRY WALL



CIVIL ENGINEERING
SURVEYING
LANDSCAPE
ARCHITECTURE

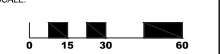
www.kleingers.com
350 Worthington Rd
Suite H
Westerville, OH 43082
(614) 862-4311

SEAL:

NO.	DATE	DESCRIPTION
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**BROADWAY LIVE
PRELIMINARY
DEVELOPMENT
PLAN
GROVE CITY, OHIO**

PROJECT NO: 210926.002
DATE: 12/03/2024



SHEET NAME:

PLANTING PLAN

SHEET NO.

4/4



SUB AREA A // MIXED-USE COMMERCIAL (0.89 AC)
01 | BROADWAY LIVE (MAIN BUILDING)
2 STORIES | ~16,400 SF | ENTERTAINMENT FOOD HALL

02 | THE EXCHANGE (SMALL BUILDINGS / CONTAINERS)
2 STORIES | ~12,000 SF | RETAIL & DINING

03 | WILLIAM F. BRECK PUBLIC PLAZA
~20,000 SF | INTERACTIVE AMENITY PLAZA

SUB AREA B // PUBLIC PARKING (0.91 AC)
01 | TOWN CENTER PARKING
~080 SURFACE PARKING SPACES | PUBLIC PARKING

// PROGRAMMABLE FOR MOVIE NIGHTS & ART

```
// 137 APARTMENTS
    +/-20%      STUDIO
    +/-64%      1BD OR 1BD+
    +/-16%      2BD OR 2BD+
// 100 STRUCTURED PARKING SPACES
// AMENITY LOBBY
```

// PARK LAND & BIKE PATH CONNECTIONS



Date: 12-30-24
Introduced By: Mr. Holt
Committee: Admin.
Originated By: Mr. Holt
Approved: _____
Emergency: 30 Days: X
Current Expense: _____

No.: C-02-25
1st Reading: 01/06/25
Public Notice: 01/07/25
2nd Reading: 01/21/25
Passed: _____ Rejected: _____
Codified: _____ Code No: _____
Passage Publication: _____

ORDINANCE C-02-25

AN ORDINANCE TO AMEND SECTION 161.10 OF THE CODIFIED ORDINANCES TITLED EMPLOYEE STATUS, NUMBER OF EMPLOYEES PER DEPARTMENT, PAY GRADES

WHEREAS, City Council budgeted for a full-time Deputy Clerk position in the 2025 Annual Appropriation ordinance; and

WHEREAS, in order to proceed with the hiring of this position, adjustments are necessary in Section 161.10.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. Section 161.10 is hereby amended, in part, as follows:

Job#	Organization Identification	Job Title	FLSA Exemption	Classification Plan	FTE Max. Number	PTE Max. Number	Pay Grade	Minimum/Maximum
512	City Council	Deputy Clerk of Council	N	€ <u>U</u>	1		5	\$23.76 – 41.45

SECTION 2. This Ordinance shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Passed:

Richard L. Stage, Mayor

Effective:

Attest:

Tami K. Kelly, MMC, Clerk of Council

I certify that this
ordinance is correct as to form.

Stephen J. Smith, Director of Law