



GROVE CITY, OHIO - CITY COUNCIL Agenda

September 15, 2025

7:00 PM

Regular Meeting

Call to Order

Roll Call

Approval of Minutes

Welcome & Reading of Agenda

LANDS:

- | | |
|----------------------------|---|
| <u>Ordinance C-35-25</u> | Approve a Special Use Permit for Grove City Drive Thru for a Drive Thru Facility located at 3188 Southwest Blvd. First reading. |
| <u>Ordinance C-36-25</u> | Rezone 3612 – 3614 Hoover Road from PSO (Professional Services/Offices) to C-2 (Retail Commercial). First Reading. |
| <u>Ordinance C-37-25</u> | Rezone 3472 Grant Avenue from R-2 (single family residential) to D-1 (Double/Twin Singles). First reading. |
| <u>Resolution CR-39-25</u> | Approve the Development Plan for the Grove City Church of the Nazarene Christian School Addition located at 4770 Hoover Road. |

FINANCE:

- | | |
|----------------------------|--|
| <u>Resolution CR-40-25</u> | Accepting the Amounts and Rates as determined by the Budget Commission and Authorizing the necessary Tax Levies and certifying them to the County Auditor. |
| <u>Resolution CR-41-25</u> | Appoint Members to the Board of Tax Review. |
| <u>Resolution CR-42-25</u> | Appoint Members to the Beulah Park New Community Authority. |

NEW BUSINESS: Visit GC Report; Town Center Park Update

Call for Dept. Reports / Closing Comments / Adjourn

On File: Minutes of 09-02-25 Council; 09-02-25 Plan. Comm.

Date: 09/09/25
Introduced By: Ms. Burroughs
Committee: Lands
Originated By: Plan. Comm.
Sponsor: _____
Emergency: 30 Days: X
Current Expense: _____

No.: C-35-25
1st Reading: 09/15/25
Public Notice: 9/16/26
2nd Reading: 10/06/25
Passed: _____ Rejected: _____
Codified: _____ Code No: _____
Passage Publication: _____

ORDINANCE C-35-25

AN ORDINANCE TO APPROVE A SPECIAL USE PERMIT FOR A DRIVE-THRU FACILITY FOR GROVE CITY DRIVE THRU LOCATED AT 3188 SOUTHWEST BLVD.

WHEREAS, Grove City Drive Thru, applicant, has submitted a request for a Special Use Permit for a Drive-Thru facility for located at 3188 Southwest Blvd.; and

WHEREAS, on September 02, 2025, the Planning Commission of the City of Grove City recommended the approval of a Special Use Permit at this location, with the following stipulations:

1. The existing pavement markings on the site shall be removed and repainted with markings that indicate the circulation pattern, as shown on the site plan;
2. The site shall be brought into compliance with Chapter 1136 of the City Code prior to opening;
3. The proposed dumpster shall be located in an enclosure that complies with the requirements of Chapter 1136.08, including supplemental landscaping; and
4. All non-conforming signs shall be removed.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. A Special Use Permit, under Section 1135.09b(12)Aj is hereby issued to Grove City Drive Thru, located at 3188 Southwest Blvd., contingent upon the stipulations set by Planning Commission.

SECTION 2. This ordinance shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Passed:

Richard L. Stage, Mayor

Effective:

Attest: _____
Tami K. Kelly, MMC, Clerk of Council

I Certify that this ordinance
is correct as to form.

Stephen J. Smith, Director of Law

Date: 09/09/25
Introduced By: Ms. Burroughs
Committee: Lands
Originated By: Plan. Comm.
Sponsor: _____
Emergency: 30 Days: X
Current Expense: _____

No.: C-36-25
1st Reading: 09/15/25
Public Notice: 9/16/26
2nd Reading: 10/20/25
Passed: _____ Rejected: _____
Codified: _____ Code No: _____
Passage Publication: _____

ORDINANCE C-36-25

AN ORDINANCE FOR THE REZONING OF 3612 – 3614 HOOVER ROAD FROM PSO TO C-2

WHEREAS, a petition was filed with the Planning Commission of the City of Grove City praying for the recommendation of said Commission in regard to the rezoning of certain premises hereinafter described; and

WHEREAS, the Planning Commission recommended approval of the rezoning on September 02, 2025; and

WHEREAS, a copy of the ordinance, together with a map and plat and the report of the Planning Commission has been on file in the Clerk's office for thirty days for public inspection.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. The following described premises are rezoned from PSO (professional services/offices) to C-2 (retail commercial):

Situated in the State of Ohio, County of Franklin, City of Grove City and being part of Virginia Military Survey #6839, *as recorded in Official Records, Recorder's Office, Franklin County, Ohio*, and being more fully described in Exhibit "A" attached hereto and made a part hereof.

SECTION 2. The comprehensive zoning map is hereby amended to conform to the provisions of this ordinance.

SECTION 3. This Ordinance shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Passed:
Effective:

Richard L. Stage, Mayor

Attest:

Tami K. Kelly, MMC, Clerk of Council

I Certify that this ordinance

is correct as to form.

Stephen J. Smith, Director of Law

C-36-25

EXHIBIT A

Legal Description: Situated in the State of Ohio, County of Franklin, and City of Grove City:

Being part of survey number 6839, Virginia Military Lands, bounded and described as follows: Beginning at a point in the centerline of Hoover Road, said point being on a line South 5°00' West 1021.58 feet from the Northwest corner of Carl Zimer's 87.57 acre tract; thence from said point of beginning in an easterly direction South 86°45' East passing over an iron pipe at 25.00 feet and continuing on said line 150.00 feet to an iron pipe; thence in a southerly direction and parallel to the centerline of Hoover Road South 5°00' West 135.00 feet to an iron pipe; thence in a westerly direction North 86°45' West 150.00 feet to an iron pipe and continuing on said line 25.00 feet to the centerline of Hoover Road; thence in a northerly direction along the centerline of Hoover Road North 5°00' East 135.00 feet to the place of beginning, containing .54 acre, more or less.

Tax Id. No. 040-008063-00

Address: 3612 - 14 Hoover Road, Grove City, Ohio 43123

040-003888
3595 Hoover Rd
Lot 62 & 4FT Off WS LT 63 Brook Park
0.23 ACRES

040-003887
3605 Hoover Rd
Brook Park Lot 61
0.26 ACRES

040-004021
2516 Southwest Blvd
AC 703 BrookPark RED A Hoover Road
0.70 ACRES

040-004022
3675 Hoover Rd
Brook Park PT RES B
0.68 ACRES

040-010163
3590 Hoover Rd
Hoover RD JEN-ARL Estate 9
0.46 ACRES



040-008066
3650 Hoover Rd
George Hoover Rd
6.915 ACRES

3612-3614 Hoover Rd



Disclaimer

The information on this map was derived from Grove City's Geographic Information System (GIS). Extensive detail and attention was given to the creation of this map to maximize its accuracy but is provided "as is". Grove City cannot accept responsibility for any errors, omissions, or positional inaccuracies that may have occurred before, during, or after production. Therefore, no warranties accompany this product. Although information from land/field surveys may have been utilized during the creation of this product, in no way does this product represent or constitute a Land Survey. Users are cautioned to field verify information on this product prior to making any decisions.



Date: 09/09/25
Introduced By: Ms. Burroughs
Committee: Lands
Originated By: Plan. Comm.
Sponsor: _____
Emergency: 30 Days: X
Current Expense: _____

No.: C-37-25
1st Reading: 09/15/25
Public Notice: 9/16/26
2nd Reading: 10/20/25
Passed: _____ Rejected: _____
Codified: _____ Code No: _____
Passage Publication: _____

ORDINANCE C-37-25

AN ORDINANCE FOR THE REZONING OF 3472 GRANT AVENUE FROM R-2 TO D-1

WHEREAS, a petition was filed with the Planning Commission of the City of Grove City praying for the recommendation of said Commission in regard to the rezoning of certain premises hereinafter described; and

WHEREAS, the Planning Commission recommended Denial of the rezoning on September 02, 2025; and

WHEREAS, a copy of the ordinance, together with a map and plat and the report of the Planning Commission has been on file in the Clerk's office for thirty days for public inspection.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. The following described premises are rezoned from R-2 (single-family residential) to D-1 (Doubles/Twin Singles):

Situated in the State of Ohio, County of Franklin, City of Grove City and being *all of Lot 33 of Grant's Addition to Beulah, as recorded in Official Records, Plat Book 5, page 130, Recorder's Office, Franklin County, Ohio*, and being more fully described in Exhibit "A" attached hereto and made a part hereof.

SECTION 2. The comprehensive zoning map is hereby amended to conform to the provisions of this ordinance.

SECTION 3. This Ordinance shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Passed:
Effective:

Richard L. Stage, Mayor

Attest:

Tami K. Kelly, MMC, Clerk of Council

I Certify that this ordinance

is correct as to form.

Stephen J. Smith, Director of Law

C-37-25
Exhibit A



2740 East Main Street
Bexley, Ohio 43209-2877
(614) 235-8677
Telefax (614) 235-4559
Email: info@myerssurveying.com

August 4, 2025

0.165 Acres

Situate in the State of Ohio, County of Franklin, City of Grove City, being all of Lot 33 of Grant's Addition to Beulah as is numbered and delineated on the recorded plat thereof, of record in Plat Book 5, Page 130, as conveyed to The Laser Foundry LLC in Instrument Number 202208260123607, all records being of the Recorder's Office, Franklin County, Ohio and being more particularly bounded and described as follows:

COMMENCING at a set Mag nail at the southeast corner of Lot 31 of said Grant's Addition to Beulah, also being the intersection of the north line of Grant Avenue, 60 feet wide (Plat Book 5, Page 130) and the west line of Front Street, 40 feet wide (Plat Book 5, Page 130);

Thence, along the south lines of said Lot 31 and Lot 32 of said Grant's Addition to Beulah and along the north line of Grant Avenue, North 55 degrees 00 minutes 00 seconds West, 96.00 feet to a set iron pipe at the southwest corner of said Lot 32, the southeast corner of said Lot 33 and being the **TRUE POINT OF BEGINNING** of the parcel herein intended to be described;

Thence, along the south line of said Lot 33 and the north line of Grant Avenue, North 55 degrees 00 minutes 00 seconds West, 48.00 feet to a found 1" iron pipe at the southwest corner of said Lot 33 and the southeast corner of Lot 34 of said Grant's Addition to Beulah;

Thence, along the west line of said Lot 33 and along the east line of said Lot 34, North 33 degrees 52 minutes 41 seconds East, 150.25 feet to a found 1" iron pipe at the northwest corner of said Lot 33, the northeast corner of said Lot 34 and in the south line of a 20 foot wide alley (Plat Book 5, Page 130);

Thence, along the north line of said Lot 33 and along the south line of said alley, South 54 degrees 45 minutes 50 seconds East, 48.00 feet to the northeast corner of said Lot 33 and the northwest corner of said Lot 32;

Thence, along the east line of said Lot 33 and along the west line of said Lot 32, South 33 degrees 52 minutes 41 seconds West, 150.06 feet to the **TRUE POINT OF BEGINNING, CONTAINING 0.165 ACRES**. Subject however to all legal highways, easements, agreements, leases, restrictions of record and of records in the respective utility offices.

Basis of bearings is assumed to be North 55 degrees 00 minutes 00 seconds West on the north line of Grant Avenue. Iron pipes set are 1" O.D. x 30" long with an orange plastic cap inscribed "MYERS PS 6579". This description is based on a field survey by Myers Surveying Company, in July, 2025.

Myers Surveying Company, Inc.

Paul T. Dinan 8-4-2025
Paul T. Dinan, Professional Surveyor 7312
PTD/ptd (305302025GrantAve)



split (0.165 acres)
48.00 ft N 55° 00' 00" E East line
48.00 ft Southwest
off of North West
out of
(0.40)
776

DESCRIPTION VERIFIED
ADAM W. FOSTER, P.E., P.S.

BY: *ADF*

DATE: 08 Aug 25

* Beulah at Lot 33 not shown

C-37-85
Myers Surveying Company, Inc.

2740 East Main Street, Columbus 43209 (Bexley), Ohio

614-235-8677

FAX: 614-235-4559

Email: info@myerssurveying.com

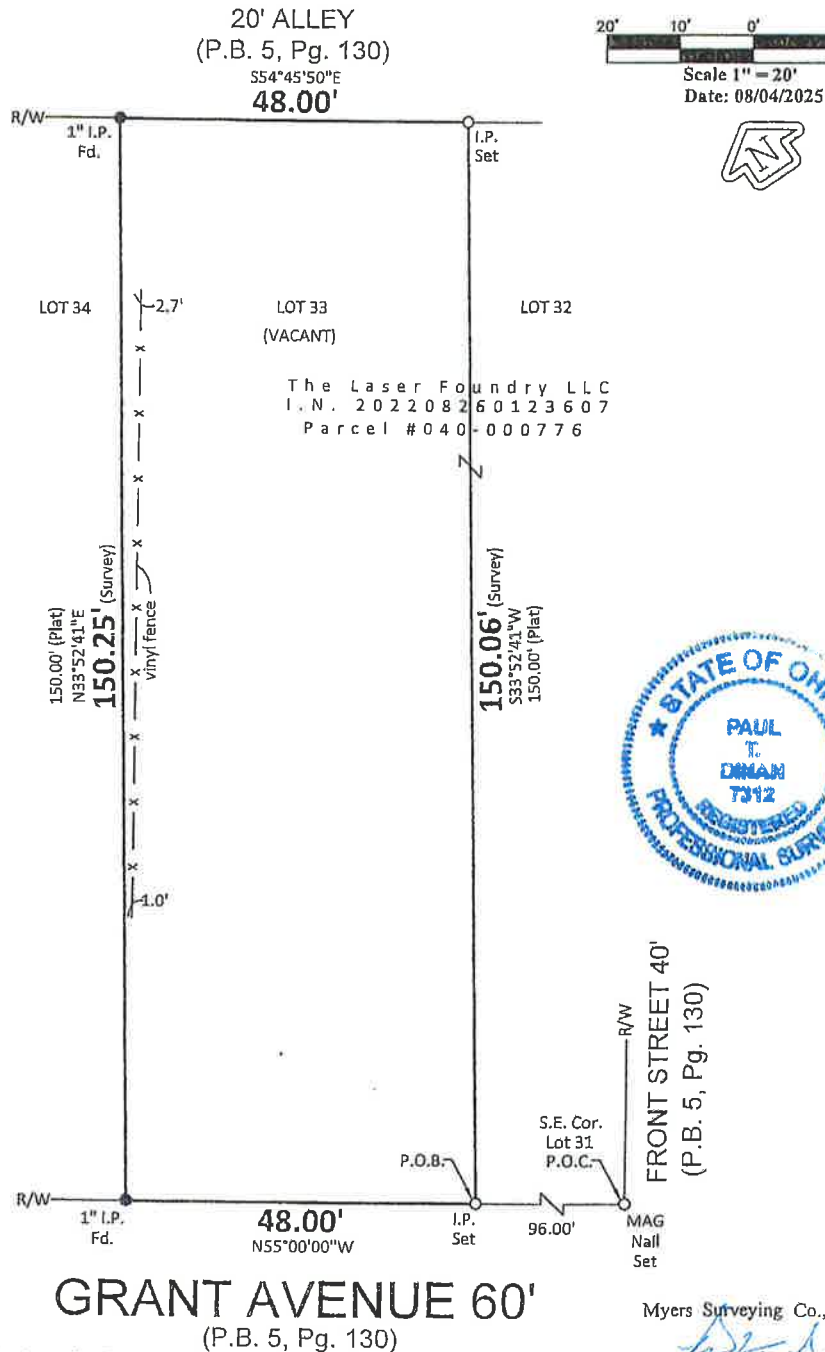
A Boundary Survey prepared for and certified to:

The Laser Foundry LLC

Legal Description: Situated in The State of Ohio, County of Franklin, City of Grove City, Being Lot 33, Grants Addition to Beulah, Plat Book 5, Page 130

Applicant:

Posted Address: Grant Avenue, Grove City, Ohio



We hereby certify that the foregoing Boundary Survey was prepared from actual field measurements in accordance with Chapter 4733-37 Ohio Administrative Code. Iron pipes set are 30"x1" O.D. with an orange plastic plug inscribed "MYERS P.S. 6579", unless otherwise noted. Basis of bearings is assumed to be N55°00'00"W on the north line of Grant Avenue.

Myers Order No.-3-05/30/2025

Rec.

Field

DWG.

Ltr.

Ck.

Date: 09/09/25
Introduced By: Ms. Burroughs
Committee: Lands
Originated By: Plan. Comm.
Sponsor:
Emergency: 30 Days:
Current Expense:

No.: CR-39-25
1st Reading: 09/15/25
Public Notice:
2nd Reading:
Passed: Rejected:
Codified: Code No:
Passage Publication:

RESOLUTION NO. CR-39-25

A RESOLUTION TO APPROVE THE DEVELOPMENT PLAN FOR THE GROVE CITY CHURCH OF THE NAZARENE CHRISTIAN SCHOOL ADDITION LOCATED AT 4770 HOOVER ROAD

WHEREAS, on September 02, 2025, the Planning Commission recommended approval of the Development Plan for an expansion to the Grove City Church of the Nazarene Christian School located at 4770 Hoover Road, as submitted.

NOW, THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. This Council hereby approves the Development Plan for the addition to the Grove City Church of the Nazarene Christian School, located at 4770 Hoover Road, as submitted.

SECTION 2. This approval shall be good for 12 months from the date passed, or as otherwise provided in Section 1101.07(b) of the Codified Ordinances of the City of Grove City, Ohio.

SECTION 3. This resolution shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Richard L. Stage, Mayor

Passed:

Effective:

Attest:

Tami K. Kelly, MMC, Clerk of Council

I Certify that this resolution
is correct as to form.

Stephen J. Smith, Director of Law

ITEM 6: 202507290023 – Church of the Nazarene - Final Development Plan

Site Location

4770 Hoover Road (PID 040-002136, 040-013200).

Proposal

This proposal is for the development of an addition to the Grove City Christian School.

Current Zoning

Educational (SD-1)

Future Land Use

Suburban Living, Low Intensity

Property Owner

Church of the Nazarene

Property Incentives

None

Applicant/Representative

Eric Walsh, Korda
Philip Tipton, The McKnight Group

Applicable Plans, Policies, and Code Section(s)

- Zoning Code Section 1135.08

Staff Recommendation

Approval as submitted

Contents

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3.GC2050 Analysis	5
4.Recommendation.....	6
5. Detailed History	6

Case Manager

Terry Barr, AICP, Development Planner
614-277-3022
tbarr@grovecityohio.gov

Summary

This proposal is for the development of a 21,853 square foot addition to the Grove City Christian School at 4720 Hoover Road.

Zoning Map

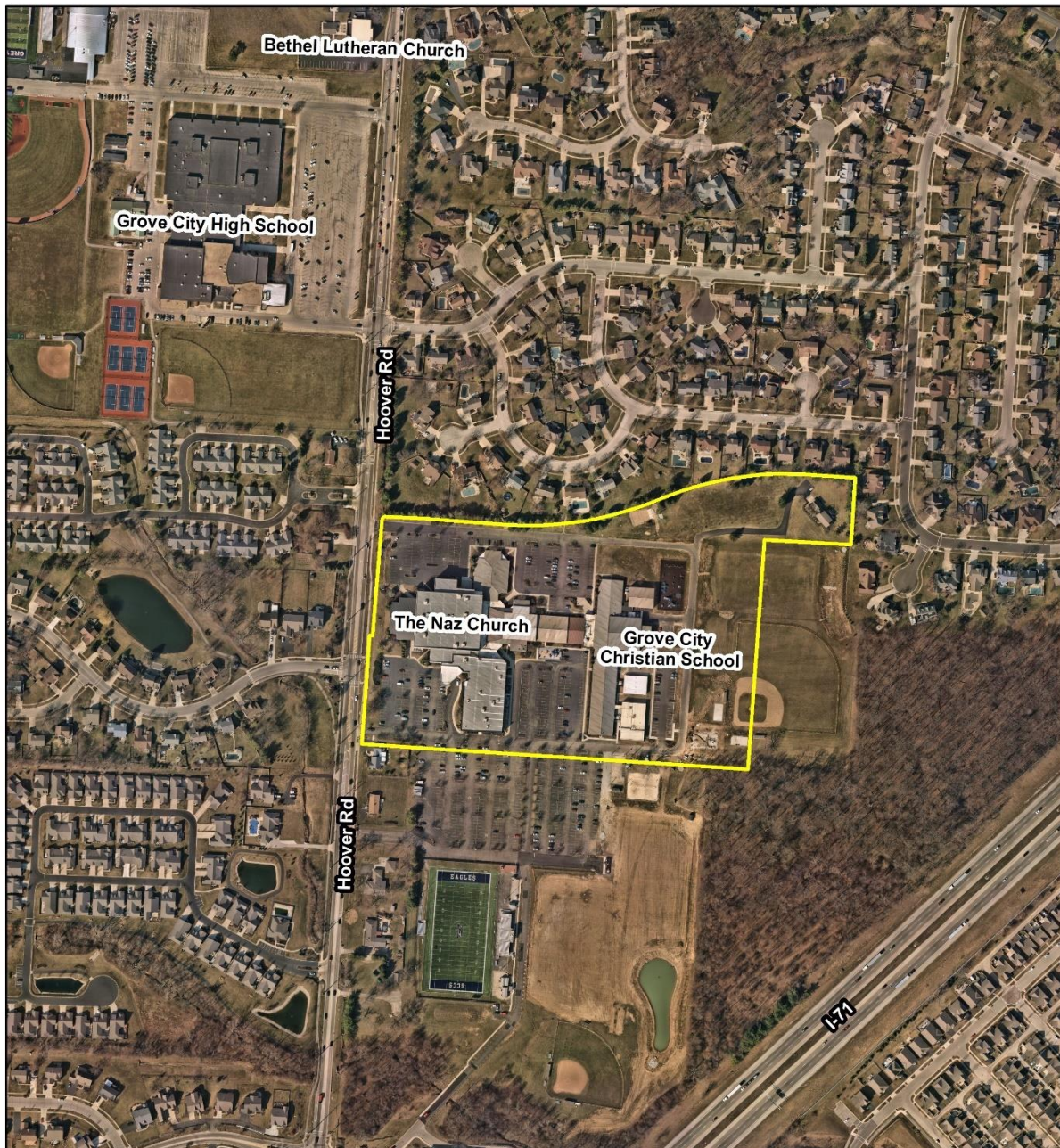


Next Steps

Upon receiving a recommendation from Planning Commission, the application will move forward to City Council for final action.

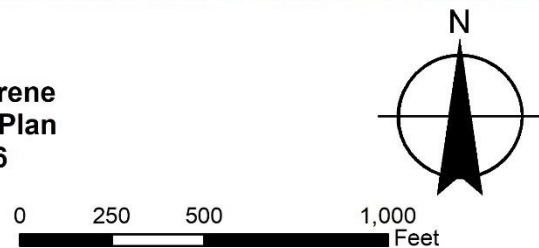
1. Context Map

The property is located at 4770 Hoover Road (PID 040-002136, 040-013200).



**GROVE
CITY** OHIO

202507290023
Church of the Nazarene
Final Development Plan
PID# 040-002136

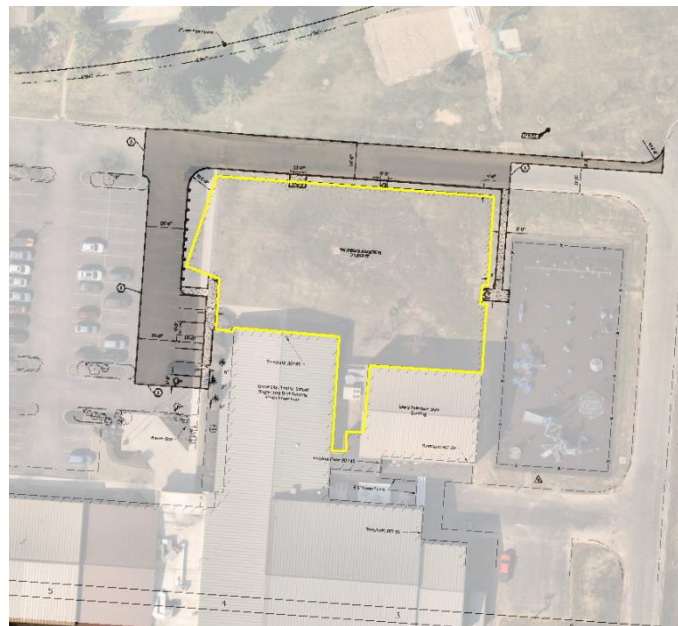


2. Analysis

The applicant is requesting approval of a Development Plan for a new addition to the Grove City Christian School at 4770 Hoover Road. The 21.566-acre parcel is zoned SD-1 (Educational) and is adjacent to properties zoned R-2 (Single Family Residential) and other properties zoned SD-1. The GroveCity2050 Community Plan and Future Land Use Map designate this site as Suburban Living, Low Intensity, and the proposed use of educational meets the recommended secondary use of institutional for the district.

Site Plan

The proposed 21,853-square-foot building addition is located on the north side of the site attached to the existing school. The addition will provide additional classroom space, a new media center, and cafeteria space. Access to the new addition will be off the existing northern access drive from Hoover Road. As part of this development the site will reduce the number of parking spaces by 8 to accommodate the addition. The applicant has indicated that while the addition will result in a loss of overall parking spaces, the site has an adequate number of parking spaces throughout the development. Staff are supportive of the reduction of parking spaces noting the large number of spaces existing throughout the entire Church of the Nazarene property.



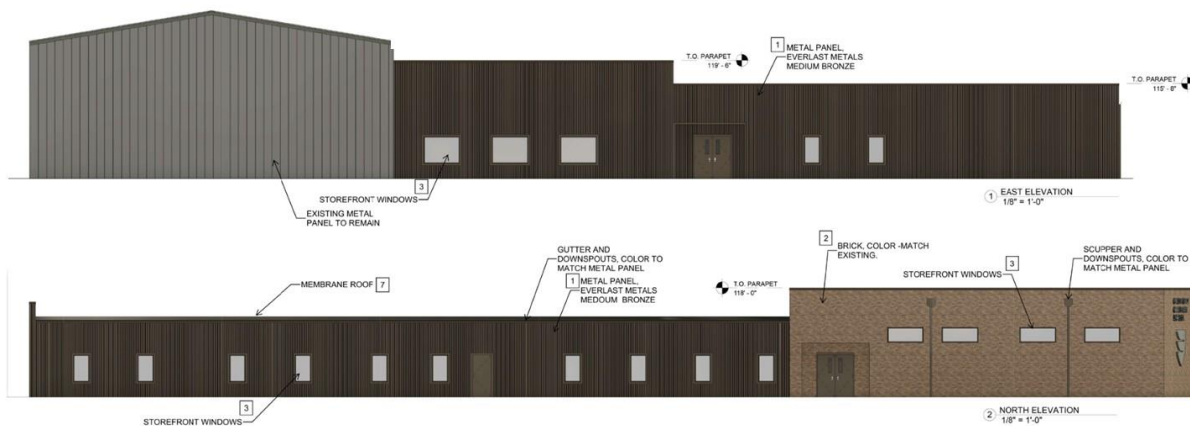
Location of Proposed Addition

Building

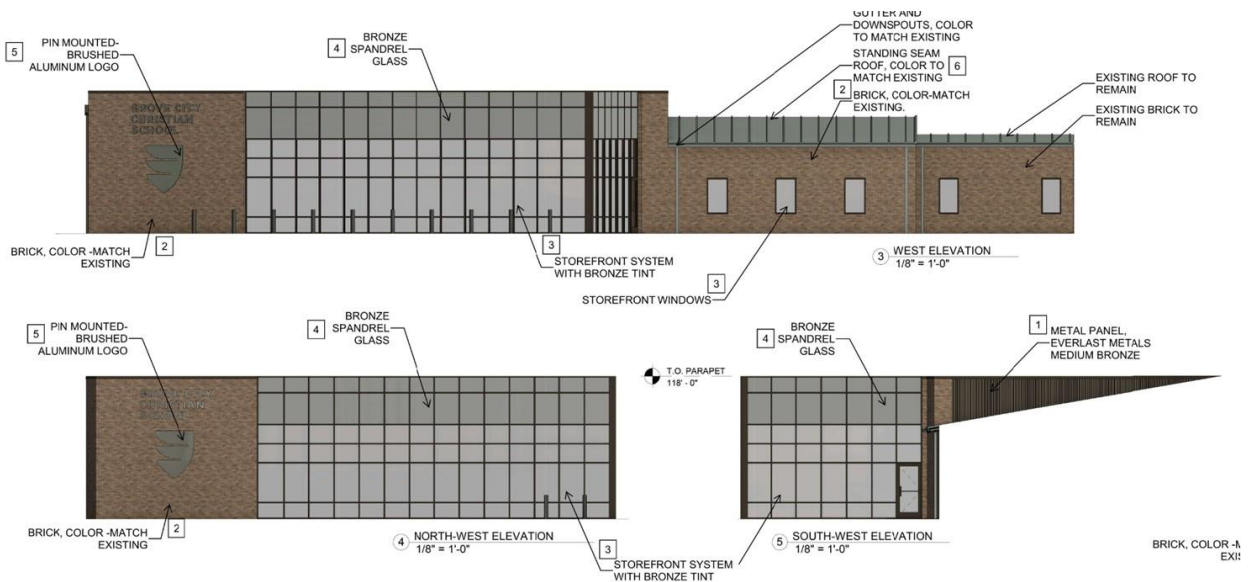
The proposed building will be 21,853 square feet and measure a maximum of 28 feet at the highest point. The building will be finished with a variety of materials. Metal paneling (bronze) is proposed as the primary finish material on the north and east elevations, which face the rear of the property. The west elevation, which faces the parking area will be finished primarily with brick (medium bronze) and include floor to ceiling glass windows. Materials state the space will be used for additional classroom and office



space, to increase the cafeteria seating capacity, provide a larger commercial kitchen, and for a new media center.



North and East Elevations



Northwest and Southwest Elevations

Landscaping

A landscape plan was submitted showing proposed landscaping in compliance with code requirements. The building will be landscaped with a variety of perennials, shrubs, and ornamental grass. The trees required for perimeter planting will be located around the drive aisle and around the rear of the building near the sports fields due to the size of the addition and the limited space around the building perimeter. While a landscape plan was provided showing compliance with the requirements in code, including required number of trees and landscape beds, there are inconsistencies with labeling and species identification on the plan sheets, that will need to be clarified.

brick and large glass windows. Landscaping will also be provided to further enhance the design and aesthetics of the site.

- (3) Places will be connected to improve the function of the street network and create safe opportunities to walk, bike and access public transportation throughout the community.**

Finding is Met: While no changes are proposed to the street network, the site is currently located in an area with sidewalks and multi-use paths. Additionally, a sidewalk will be installed around the new school addition.

- (4) Future development will preserve, protect and enhance the City's natural and built character through sustainable practices, prioritizing parks and open space and emphasizing historic preservation.**

Finding is Met: This addition has been designed to match the built character of the existing Grove City Christian School.

- (5) Development provides the City with a net fiscal benefit.**

Finding not Applicable: While the addition will not have a direct fiscal benefit, the proposed addition will allow for the expansion of the Grove City Christian School providing additional educational services in the City.

4. Recommendation

After review and consideration, the Development Department recommends Planning Commission make a recommendation of approval to City Council for the Development Plan as submitted.

5. Detailed History

2023

City Council approved the development plan for the Church of the Nazarene Phase 1 development located at 4770 Hoover Road at the March 7th meeting with Resolution CR-27-23.

Grove City Planning Commission Final Development Plan Application

PROJECT / PROPERTY INFORMATION

PROJECT NAME: CHURCH OF THE NAZARENE

PROJECT LOCATION: 4770 HOOVER ROAD
STREET ADDRESS (OR NEAREST INTERSECTION WITH DISTANCE AND DIRECTION)

PARCEL ID NUMBER: 040-002136 , 040-013200 **ACREAGE AFFECTED BY THIS APPLICATION:** 0.73

EXISTING ZONING: SD-1 **EXISTING LAND USE:** EDUCATIONAL AND RECREATIONAL FACILITIES

PROPOSED ZONING: N/A **PROPOSED LAND USE:** EDUCATIONAL AND RECREATIONAL FACILITIES

FUTURE LAND USE DESIGNATION: N/A

PROPERTY OWNER INFORMATION

Note: Property ownership information should reflect how the property is held in accordance with the Franklin County Auditor's Office.

CHURCH OF THE NAZARENE 4770 HOOVER ROAD GROVE CITY, OHIO, 43123

Name Address City, State, Zip
614-875-2551 DMORRISON@THENAZ.CHURCH

Phone Fax Email

APPLICANT INFORMATION

Note: The applicant is the person(s) or entity seeking approval of this application.

ERIC WALSH CIVIL ENGINEER KORDA NEMETH ENGINEERING INC.

Name Title Company / Organization
1650 WATERMARK DRIVE COLUMBUS, OHIO, 43215

Address City, State, Zip
614-487-1650 ERIC.WALSH@KORDA.COM

Phone Fax Email

AUTHORIZED REPRESENTATIVE

Check box if same as Applicant: ☐

Note: The authorized representative is the person(s) or entity representing the applicant. As the authorized representative, you must have the legal authority to speak, represent and make commitments on behalf of the applicant. The City does not take any responsibility for the lack of communication between the authorized representative, applicant or related parties.

Philip Tipton President McKnight & Hosterman Architects

Name Title Company / Organization
3351 McDowell Road, P.O. Box 370 Grove City, OH 43123

Address City, State, Zip
614-875-1689 ptipton@mcknightgroup.com

Phone Fax Email

Architect of Record

Relationship to the Applicant: (e.g. legal counsel, engineer, architect, land planner, contractor, etc.)

FOR OFFICE USE ONLY

DATE RECEIVED:	RECEIVED BY:	PAYMENT AMOUNT:
TENTATIVE PC MEETING DATE:	PC RECOMMENDATION:	CHECK NUMBER:
PROJECT ID NUMBER:	CITY'S REVIEW ENGINEER:	CITY'S PLAN REVIEW ENGINEER:
PLANNER IN CHARGE:		

ADDITIONAL PROJECT INFORMATION

PROJECT NAME: CHURCH OF THE NAZARENE

DEVELOPMENT TYPE: Commercial Retail ☐ Commercial Office ☐ Residential ☐ Industrial ☐ Mixed ☐ Other ☒

ACREAGE DISTURBED: 0.73 TOTAL FLOOR AREA: 22,458 s.f.

NUMBER OF BUILDINGS: 1 BUILDING HEIGHT: 20'-6" average. (22'-0" max.)

ESTIMATED NUMBER OF PERMANENT JOBS CREATED (IF APPLICABLE): N/A

ESTIMATED VALUATION OF BUILDING IMPROVEMENTS: \$6,132,700 ESTIMATED VALUATION OF SITE IMPROVEMENTS: \$492,600

PROPERTY OWNER AUTHORIZATION OF APPLICANT SUBMITTAL AND SITE VISIT(S)

I DAVID MORRISON, the current property owner hereby authorize the applicant ERIC WALSH to submit this application. I agree to be bound by all representations and agreements made by the applicant and/or their authorized representative.

Additionally, as the current property owner, knowing that site visits to the property may be necessary, I hereby authorize City representatives to enter, photograph and post notices on the property described in this application.

Signature of Current Property Owner: [Signature] Date: 7/28/25

STATE OF OHIO, COUNTY OF FRANKLIN

The above individual(s), being first duly sworn, deposes on oath and says that he/she has read the foregoing Affidavit subscribed by him/her, knows the contents thereof, and that the statements therein are true.

SUBSCRIBED AND SWORN TO before me this 28th day of July, 2025.

[Signature]
Official Seal and Signature of Notary Public
CAMILLE KAMINSKY
Notary Public, State of Ohio
My Commission Expires 06-07-2026

APPLICANT'S / AUTHORIZED REPRESENTATIVE S AFFIDAVIT

I ERIC WALSH, the applicant or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct, to the best of my knowledge and belief.

Signature of Applicant or Authorized Representative: [Signature] Date: 7-28-25

STATE OF OHIO, COUNTY OF FRANKLIN

The above individual(s), being first duly sworn, deposes on oath and says that he/she has read the foregoing Affidavit subscribed by him/her, knows the contents thereof, and that the statements therein are true.

SUBSCRIBED AND SWORN TO before me this 28 day of July, 2025.

[Signature]
Official Seal and Signature of Notary Public



MELANIE TOPAZIO
Notary Public
State of Ohio
My Comm. Expires
May 4, 2027

REVIEW FEES

INSTRUCTIONS: All blanks/boxes must be completed or checked in order for the application submittal to be considered complete. The engineering review fee and planning review fee is calculated in accordance with the City's Fee Recovery Policy. The submittal shall include the required number of copies (properly folded and collated) and contain all required supplementary documentation. Submitted materials shall be accurate, measurable and shall address all required checklist items contained within the attached supplemental requirements.

Application Processing Fee:	\$	300.00
Engineering Review Fee:	\$	2,000
Planning Review Fee:	\$	
Total Submittal Fee:	\$	2,300

GROVECITY2050 GUIDING PRINCIPLES

In January 2018, the City of Grove City adopted the GroveCity2050 Community Plan to update the City's plans and policies to proactively shape where and how the community will grow. The Plan contains specific goals, objectives and actions to guide development in Grove City as well as the following five (5) guiding principles:

1. The City's small-town character shall be preserved while continuing to bring additional employment opportunities, residents and amenities to the community.
2. Quality design shall be emphasized for all uses to create an attractive and distinctive public and private realm.
3. Places shall be connected to improve the function of the street network and create safe opportunities to walk, bike and access public transportation throughout the community.
4. Future development shall preserve, protect and enhance the City's natural and built character through sustainable practices, prioritizing parks and open space and emphasizing historic preservation.
5. Development shall provide the City with a net fiscal benefit.



PLEASE CONTACT STAFF FOR A LINK TO SUBMIT THE FOLLOWING ELECTRONIC FILES FOR INITIAL STAFF REVIEW:

- ☐ One signed and notarized application
 - ☐ Appropriate fee (\$300 plus applicable engineering and planning review fees – see [Fee Recovery Policy](#)). **Please note that either cash, checks or credit card payments will be accepted. For credit card payments call 614-277-3004.**
 - ☐ A project narrative describing the nature of the project as well as how the proposed development relates to existing and future land use in the surrounding area in terms of character, street design, trail connectivity, open space and other improvements
 - ☐ A metes and bounds legal description and survey of the property, stamped by a certified surveyor of the proposed Development Standards Text (if applicable)
 - ☐ If applicable, the following scaled plans showing:
 - a. Cover Page with signature block (see image below)
 - b. Site Plan
 - c. Grading Plan
 - d. Landscape Plan
 - e. Irrigation Plan
 - f. Utility Plan
 - g. Photometric Plan
 - h. Tree Survey
 - i. Demolition Plan
 - j. Site Details
 - k. Stormwater Management (per the [Stormwater Design Manual](#))
- | | |
|-------------------------------------|-------|
| City Administrator | _____ |
| Service Director | _____ |
| Reviewer for the City of Grove City | _____ |
| Fire Department Jackson Township | _____ |
- ☐ If applicable, scaled drawings showing:
 - a. Location of sign(s) and sign type (wall, ground, projecting or window)
 - b. Sign dimensions, including letter sizes and proposed distance from sign to grade
 - c. Copy layout and lettering styles (fonts) of signage
 - d. Materials and manufacturer to be used in fabrication
 - e. Total area of sign face (including frame)
 - f. Type of illumination
 - ☐ If applicable, architectural elevations – **in color** – with proposed colors and finish materials noted
 - ☐ If applicable, the preliminary stormwater calculations stamped by a professional engineer
 - ☐ A photograph of the finish material/color samples board (swatches, plans or product specifications)
 - ☐ A materials detail sheet listing material, manufacturer and color for all proposed exterior materials
 - ☐ If applicable, a traffic study indicating potential traffic generation for the proposed site
 - ☐ If the project is located in the proximity of existing residential development, it is strongly recommended that the applicant reach out with notifications to neighboring residents.

NOTE: One (1) paper copy (8 1/2 x 11) of all final materials being presented to Planning Commission will be required, as well as one 24 x 36 copy of all plan sheets, if applicable.

For additional information, contact the Grove City Development Department at 614-277-3004 or visit our website at www.grovecityohio.gov/development.

Grove City Planning Commission Meeting and Deadline Schedule 2025

Planning Commission		City Council	
Planning Commission Application Filing Deadline	Planning Commission Meeting Date	Tentative City Council Meeting Date*	
November 27, 2024	January 7, 2025	1st Reading	January 21, 2025
		2nd Reading	February 3, 2025
December 31, 2024	February 4, 2025	1st Reading	February 18, 2025
		2nd Reading	March 3, 2025
January 29, 2025	March 4, 2025	1st Reading	March 17, 2025
		2nd Reading	April 7, 2025
March 5, 2025	April 8, 2025	1st Reading	April 21, 2025
		2nd Reading	May 5, 2025
April 2, 2025	May 6, 2025	1st Reading	May 19, 2025
		2nd Reading	June 2, 2025
April 30, 2025	June 3, 2025	1st Reading	June 16, 2025
		2nd Reading	July 7, 2025
June 4, 2025	July 8, 2025	1st Reading	July 21, 2025
		2nd Reading	August 4, 2025
July 2, 2025	August 5, 2025	1st Reading	August 18, 2025
		2nd Reading	September 2, 2025
July 30, 2025	September 2, 2025	1st Reading	September 15, 2025
		2nd Reading	October 6, 2025
September 3, 2025	October 7, 2025	1st Reading	October 20, 2025
		2nd Reading	November 3, 2025
October 1, 2025	November 4, 2025	1st Reading	November 17, 2025
		2nd Reading	December 1, 2025
October 29, 2025	December 2, 2025	1st Reading	December 15, 2025
		2nd Reading	January 5, 2026

* Time frames for approval vary based on application type. See approval timelines below for more detail.

- Lot Split applications are approved by Planning Commission and do not require City Council approval.
- Certificate of Appropriateness, Development Plan, and Preliminary Development Plan applications are approved by Resolution and require one reading by City Council.
- Plat and Special Use Permit applications are approved by Ordinance and require two readings by City Council. A 30 day effective period is required after approval.
- Rezoning applications are approved by Ordinance and require two readings by City Council. A 30 day notification period is required between readings and a 30 day effective period is required after approval.

Additional Notes:

1. Planning Commission meetings are held in Council Chambers of City Hall at 1:30 p.m. on the first Tuesday following the first Monday of each month unless otherwise noted.
2. The complete application packet should be submitted no later than 4:00 p.m. on the filing date. INCOMPLETE ITEMS WILL NOT BE ACCEPTED FOR REVIEW.
3. Applications shall be submitted to the Grove City Development Department located on the first floor of City Hall, 4035 Broadway, Grove City, Ohio.

Please contact the Development Department for further information at 614-277-3004 or visit our website at www.grovecityohio.gov/development.

Revised 3/25/2025

Plot Date: 8/21/2025 8:59:18 AM c000 title sheet.dwg Eric Walsh

SHEET INDEX		
FDP SHEET	SHEET	DESCRIPTION
1	C000	TITLE SHEET
2	TS1	TOPOGRAPHIC SURVEY
3	C001	DEMOLITION PLAN
4	C101	STAKING PLAN
5	C102	STAKING DETAILS
6	C201	GRADING & STORM SEWER PLAN
7	C301	UTILITY PLAN
8	S2	LIGHTING CALCULATION
9	L000	TREE INVENTORY AND PRESERVATION PLAN
10	L100	LANDSCAPE PLAN
11	L101	LANDSCAPE NOTES & DETAILS
12	SD101	ARCHITECTURAL SITE DEVELOPMENT PLAN
13		PROPOSED FLOOR PLAN - EAST
14		ADDITION RENDERING
15		ELEVATIONS

PROPERTY OWNERS				
X	OWNER NAME	PARCEL	ADDRESS	ACREAGE
1	CHURCH OF THE NAZARENE	040-002136	4720-4770 HOOVER RD	21.56
2	CHURCH OF THE NAZARENE	040-013200	HOOVER RD	4.99
3	CHURCH OF THE NAZARENE	160-000824	4910 HOOVER RD	34.24
4	STATE OF OHIO	160-002186	HOOVER RD	9.76
5	STATE OF OHIO	040-002910	HOOVER RD	6.20
6	FLOWERS MICHAEL	040-007905	4725 HUNTING CREEK CT	0.43
7	GUNDERSON FRED	040-007906	4717 HUNTING CREEK CT	0.37
8	HAWK-CARPENTER SHARON	040-007907	4707 HUNTING CREEK CT	0.40
9	SCHMIT ARTHUR M	040-007908	4697 HUNTING CREEK CT	0.38
10	SEYMOUR MARK T	040-007909	4687 HUNTING CREEK DR	0.42

BENCHMARKS		
No.	Elevation	Description
1	809.97	Chiseled "X" on the Southwesterly Flange Bolt of Fire Hydrant
5	812.46	Chiseled "X" on the Northerly Side of a Concrete Light Pole Base

*Elevations are based on NAVD 1988 utilizing GEOID18.

CONTROL POINTS				
No.	Northing	Easting	Elevation	Description
1	679837.060	1809214.953	808.38	5/8"x30" Iron Pin with Pink Control Cap
2	680450.977	1809245.791	808.37	5/8"x30" Iron Pin with Pink Control Cap
3	680478.839	1809577.793	805.45	5/8"x30" Iron Pin with Pink Control Cap
4	679960.506	1809700.202	804.92	5/8"x30" Iron Pin with Pink Control Cap
8	680449.514	1808451.139	814.10	Mag Nail Set

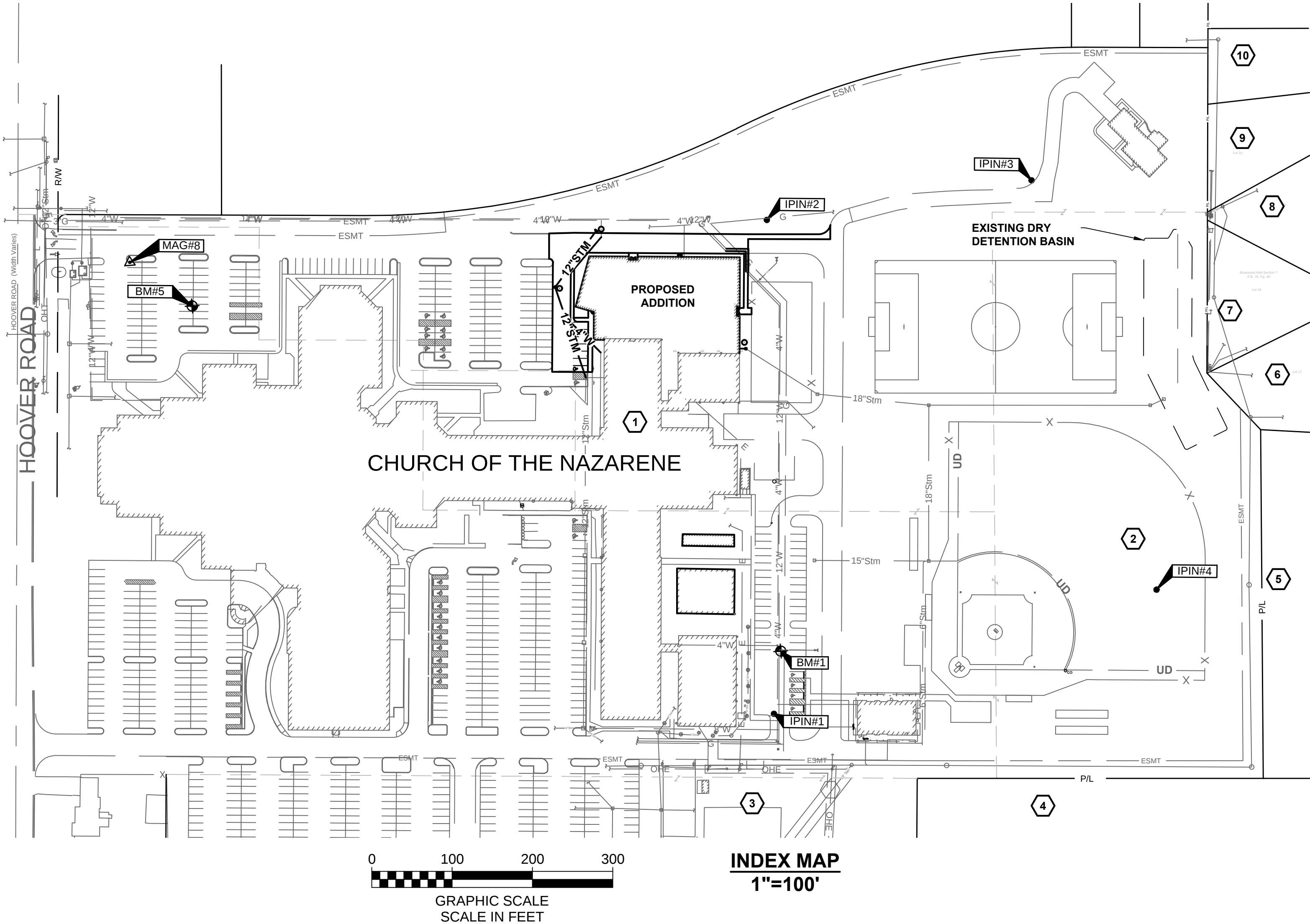
*The project is based on State Plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

SITE DATA TABLE	
TOTAL AREA:	26.55 AC
DISTURBED AREA:	0.90 AC
ADDED PUBLIC ROW:	N/A
EXISTING IMPERVIOUS:	0.29 AC
PROPOSED IMPERVIOUS:	0.81 AC
BUILDING AREA	21,853 SF
CRITICAL STORM	5-YR



GROVE CITY, FRANKLIN COUNTY, OHIO FINAL DEVELOPMENT PLAN FOR GROVE CITY CHRISTIAN SCHOOL ADDITION

4750 HOOVER ROAD GROVE CITY, OH 43213
2025

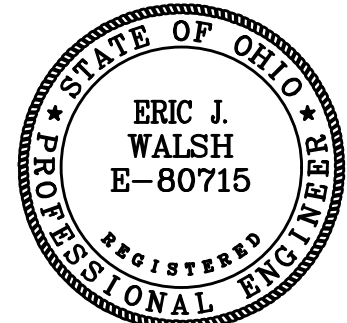


FEMA NOTE
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE MAP (DATED 6/17/2008) THE SUBJECT PARCEL SHOWN HEREIN LIES WITH ZONE X. COMMUNITY PANEL NO 390173. THIS PROJECT WILL NOT REQUIRE ANY WORK IN THE FLOOD PLAIN, FLOOD WAY, OR STREAM CORRIDOR PROTECTION ZONE.

STANDARD DRAWINGS
THE STANDARD DRAWINGS LISTED ON THIS PLAN SHALL BE CONSIDERED A PART THEREOF.

C-GC-04	C-GC-32
C-GC-19	C-GC-37
C-GC-22	C-GC-46A
C-GC-23	C-GC-70A
C-GC-26	C-GC-74
C-GC-30	C-GC-75A
C-GC-31	C-GC-77

PLAN PREPARED BY:
KORDA Korda/Nemeth Engineering, Inc. - Consulting Engineers
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010
TEL 614-487-1650 FAX 614-487-8981 WEB www.korda.com



Eric J. Walsh
REGISTERED ENGINEER NO.

08/21/2025
DATE

LOCATION MAP (NOT TO SCALE)

OWNER

CHURCH OF THE NAZARENE
4770 HOOVER ROAD
GROVE CITY, OH 43123
CONTACT: DAVID MORRISON
P: 614-875-2551
EMAIL: DMORRISON@THENAZ.CHURCH

ARCHITECT

MCKNIGHT GROUP
3351 MCDOWELL ROAD
GROVE CITY, OH 43123
CONTACT: CINDY DE MESA
P: 614-875-1689
EMAIL: CDEMESA@MCKNIGHTGROUP.COM

ENGINEER

KORDA/NEMETH ENGINEERING, INC.
1650 WATERMARK DRIVE
COLUMBUS, OH 43215
CONTACT: ERIC WALSH
P: 614-487-1650
EMAIL: ERIC.WALSH@KORDA.COM

LANDSCAPE ARCHITECT

MANNIK SMITH GROUP
1160 DUBLIN ROAD, SUITE 100
COLUMBUS, OH 45215
CONTACT: MICHELLE FORD
P: 614-441-4222
EMAIL: MFORD@MANNIKSMITHGROUP.COM

CITY OF GROVE CITY APPROVALS

CITY OF GROVE CITY SIGNATURES ON THIS PLAN SIGNIFY ONLY CONCURRENCE WITH THE GENERAL PURPOSES AND GENERAL LOCATION OF THIS PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE ENGINEER PREPARING THE PLANS.

MAYOR, CITY OF GROVE CITY DATE

CITY ADMINISTRATOR, CITY OF GROVE CITY DATE

DIRECTOR OF PUBLIC SAFETY, CITY OF GROVE CITY DATE

DIRECTOR OF PUBLIC SERVICE, CITY OF GROVE CITY DATE

REVIEWED FOR THE CITY OF GROVE CITY DATE

CHIEF, JACKSON TOWNSHIP FIRE DEPARTMENT DATE

The McKnight Group
Leaders in Innovative Church Design and Building
McKnight & Hosterman Architects, Inc.
3351 McDowell Road Phone: (614) 875-1689
P.O. Box 370 Fax: (614) 875-7006
Grove City, Ohio 43123 www.mcknightgroup.com

Architect is not responsible for any dimensions scaled from drawings. Dimensions noted take precedence.

ADDITION FOR:
GROVE CITY CHRISTIAN SCHOOL
-ADDITION
4750 HOOVER ROAD
GROVE CITY, OH 43123

DRAWING DATE

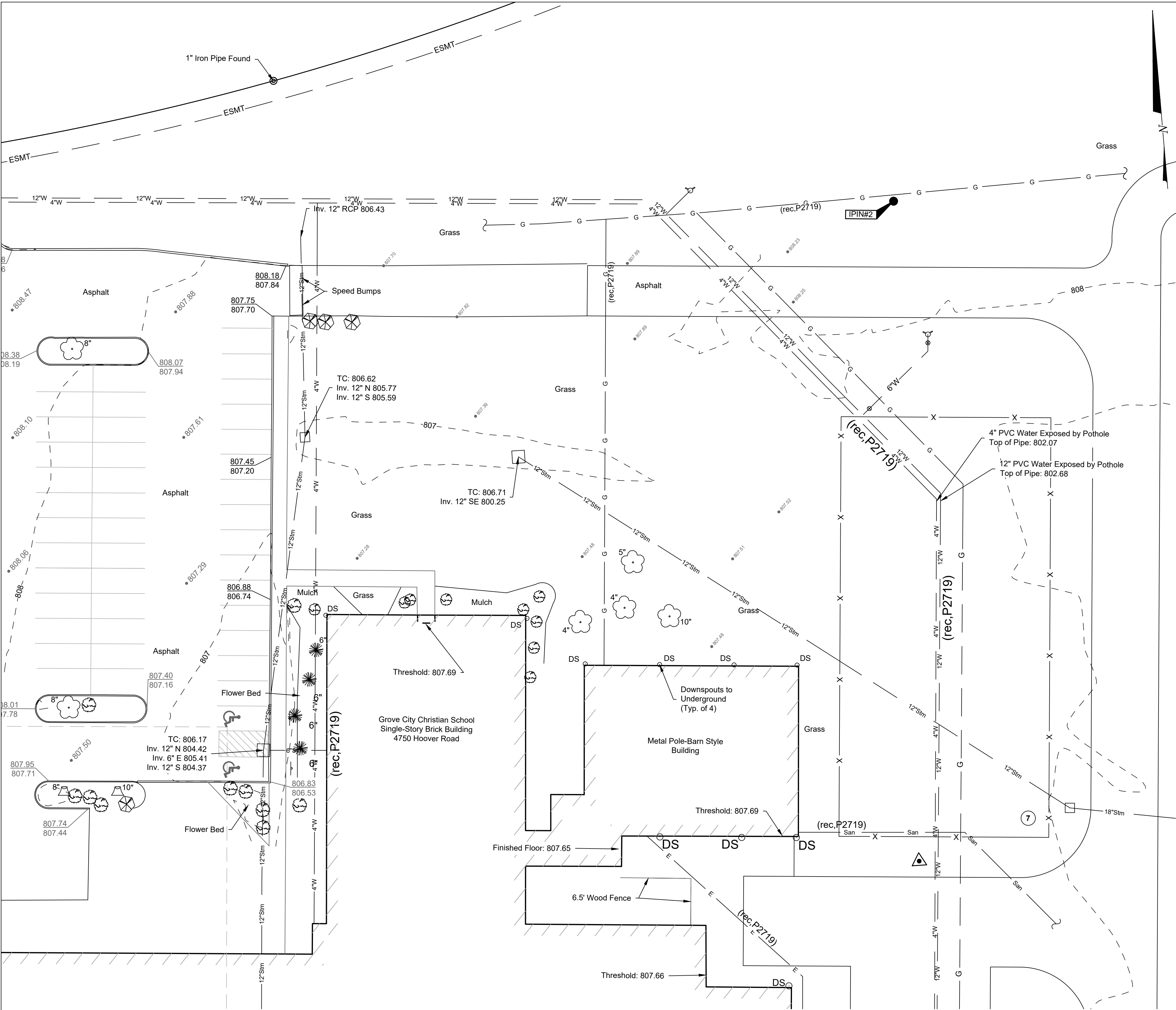
☒ FINAL DEVELOPMENT PLAN 21 AUG 25

REVISIONS

TITLE SHEET

C000

224438



NOTES:

1. All underground utility locations are shown as accurately as possible based on surface evidence (valves and manholes), markings found in the field, and/or record plans received from the owner or utility companies. Items noted (rec) were obtained from existing plans. Utility locations are not necessarily complete or correct. Any utility in close proximity to proposed work should be "potholed" for exact location prior to construction. OUPS Ticket # AXXXXXXX-00A.
2. Property and easement lines shown hereon, if any, are from a combination of records, GIS and evidence located in the field and are not to be construed as a boundary survey pursuant to the OAC 4733-37. A title report, containing documentation or easements of record was not provided. Not all easements affecting the property may be shown. Property and easement lines are for informational purposes only and should not be used in conjunction with the development of design drawings.
3. The elevations on this survey are based on NAVD 88. Record drawings of buildings and infrastructure may exist having a differing datum. Exercise caution when utilizing this survey by correlating record drawings and proposed work with survey information shown on this drawing.
4. Benchmarks and control points shown on this survey may have been disturbed, since the completion of this survey. Verify that existing monumentation correlates with data shown on this survey prior to use.
5. Utilities noted (Ab) are denoted as such per record plan and may have been abandoned or removed. Their existence and/or status has not been verified.
6. Buildings are located from the surveyed at grade edge. Location of the interior and underground structural footprint has not been verified. Due to possible variations in building exterior above the at grade edge, the building location should be used for site plan use only.
7. Utility owner list shown is based on information received from the owner through contacting OUPS. This list may not be accurate or complete.
8. Sewer sizes shown are based on an evaluation of record plan information and observation from the manhole casting at grade. Due to manhole depth and safety restrictions entering manhole, sizes shown are approximate.
9. The lots delineated on this plat are found on F.E.M.A. community panel No. XXXXXXXXXX dated XX/XX/XX. The property is located in Zone X and are therefore not in a flood hazard area.
10. Trees shown do not indicate dripline or root area.
11. Building overhangs are in an approximate location.



GRAPHIC SCALE
SCALE IN FEET

LEGEND

(applicable for all survey sheets)

	Building/Wall		Electric Pull Box
	Curb		Telephone Pull Box/Pedestal
	Curb and Gutter		Traffic Pull Box
	Pavement/Walk		Unknown Utility Pull Box
	Index Contour		Lighting Pull Box
	Water line		Fiber Optic Pull Box
	Chilled Water line		Air Conditioning Unit
	Gas Line		Area Drain
	Combined Sewer		Clean Out
	Sanitary Sewer		Down Spout
	Storm Sewer		Ground Light
	Manhole		Slamese/Test Header
	Open Grate Manhole		Fire Hydrant
	Curb Inlet		Post Indicator Valve
	Valve		Monitoring Well
	Underground Electric line		Gas Line Marker
	Steam and Condensation Return line		Sanitary Sewer Line Marker
	Electric Manhole		Telephone Line Marker
	Underground Telephone		Water Line Marker
	Underground Fiber Optic		Top of Casting Elevation
	Telephone Pole		Information Obtained From Record Plan
	Telephone Manhole		Abandoned Utility
	Overhead Signal Line		Spot Elevation
	Underground Traffic Line		Top of Curb Elevation
	Power Pole		Bottom of Curb Elevation
	Light Pole		Control Point
	Fence		Aerial Target
	Right of Way Line		Boring Location
	Easement Line		Traffic Bollard
	Setback Line		Picnic Table
	Property Line		Trash Can
	Original Subdivision Lot Lines		Bench
	Steam Manhole		Handicap Ramp
	Further route of utility unknown		Sign
	Tree Line/Shrub Line		Flag Pole
	Bushes		Concrete Pavement, Walk, Slab
	Trees		Brick Walk

Not all symbols necessarily used

CONTROL POINTS

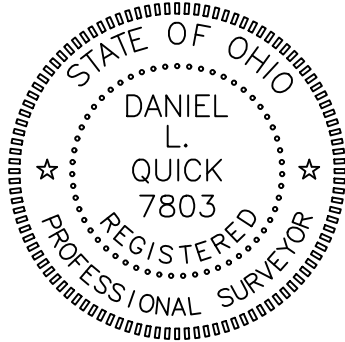
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4	679960.506	1809700.202	804.92	5/8"x30" Iron Pin with Pink Control Cap
5	678945.716	1809285.664	802.04	5/8"x30" Iron Pin with Pink Control Cap
6	679096.703	1808823.463	804.11	5/8"x30" Iron Pin with Pink Control Cap
7	679432.284	1808940.247	807.39	5/8"x30" Iron Pin with Pink Control Cap
8	680449.514	1808451.139	814.10	Mag Nail Set

*The project is based on State Plane Coordinates Ohio South Zone NAD 83 with 2011 NSRS adjustment.

BENCHMARKS

No.	Elevation	Description
1	809.97	Chiseled "X" on the Southwesterly Flange Bolt of Fire Hydrant
2	806.52	Chiseled Square on the Southeasterly Corner of Dugout Foundation
3	806.99	Chiseled "X" on the Southerly End of a Retaining Wall Located Near the Southeasterly Corner of Football Field
4	806.90	Chiseled Square on the Southeasterly End of Curb Located at the Southeasterly Corner of an Asphalt Parking Lot
5	812.46	Chiseled "X" on the Northerly Side of a Concrete Light Pole Base

*Elevations are based on NAVD 1988 utilizing GEOID18.



CERTIFICATION:

I hereby certify that this plat is a true and correct representation of a survey performed under my responsible direction and supervision and is correct to the best of my knowledge.

REGISTERED SURVEYOR NO.7803
DATE 08/07/2025

Architect is not responsible for any dimensions scaled from drawings. Dimensions noted take precedence.

ADDITION TOP:
GROVE CITY CHRISTIAN
SCHOOL
-ADDITION
4750 HOOVER ROAD
GROVE CITY, OH 43123

DRAWING DATE

☒ FINAL DEVELOPMENT PLAN 21 AUG 25

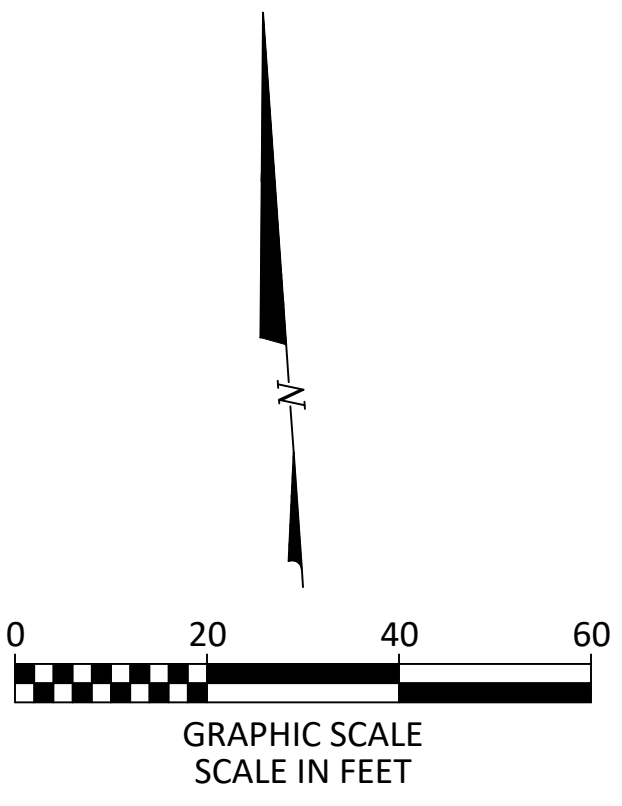
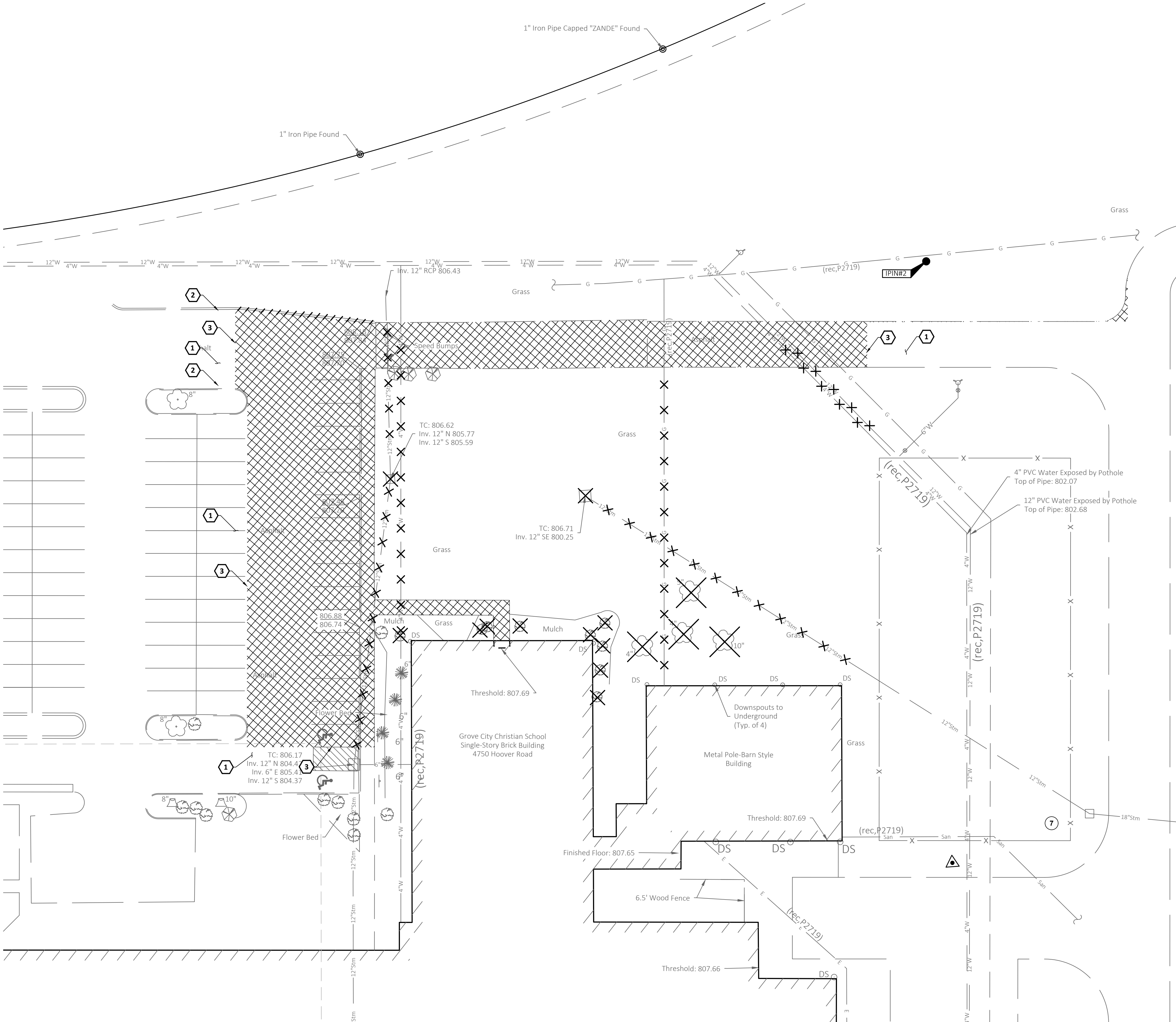
REVISIONS

TOPOGRAPHIC
SURVEY

TS1

224438

Plot Date: 8/20/2025 10:36:13 AM c001 demolition plan.dwg Kevin Wirfel



DEMOLITION LEGEND

EXISTING
REFER TO SHEET TS1

PROPOSED

- REMOVE EXISTING ASPHALT, GRAVEL, AND CONCRETE PAVEMENT, CONCRETE SIDEWALK, BUILDING FOUNDATION, AND PAVEMENT BASE MATERIALS
- REMOVE EXISTING TREE
- PROTECT EXISTING TREE TO REMAIN

GENERAL NOTES:

- SITE SURVEY PERFORMED BY KORDA NEMETH ENGINEERING INC, DATED 08/07/2025. REFER TO SHEET TS1 FOR ALL EXISTING SITE FEATURES.
- DISPOSE OF CONSTRUCTION DEBRIS OFF-SITE IN ACCORDANCE WITH LOCAL CODES.
- REMOVE AND DISPOSE OF ON SITE FEATURES AS SHOWN ON THE PLAN.
- SAW-CUT EXISTING PAVEMENT AT LIMITS OF PAVEMENT REMOVAL TO FULL DEPTH USING CARE TO CUT NEAT, STRAIGHT LINES. CUT AT EXISTING JOINTS WHERE POSSIBLE.
- CONTRACTOR TO PROTECT EXISTING SITE FEATURES TO REMAIN OUTSIDE CONSTRUCTION LIMITS. REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTROL DUST AT THE SITE. PROVIDE STREET CLEANING WHEN NECESSARY, AND WHEN REQUESTED BY OWNER.
- GRADE SITE DURING CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE TO EXISTING AND/OR PROPOSED STORM WATER MANAGEMENT SYSTEMS.
- PERFORM WORK IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.

(X) CODED NOTES:

- PROTECT EXISTING PAVEMENT/SIDEWALK TO REMAIN.
- PROTECT EXISTING CONCRETE CURB OR CURB AND GUTTER TO REMAIN.
- SAWCUT EXISTING PAVEMENT WITH NEAT, STRAIGHT LINES. MATCH EXISTING PAVEMENT GRADE AT THIS POINT.
- PROTECT EXISTING UTILITY STRUCTURE TO REMAIN. ADJUST TO FINAL GRADE.

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ADDITION for:
GROVE CITY CHRISTIAN SCHOOL
-ADDITION
 4750 HOOVER ROAD
 GROVE CITY, OH 43123

DRAWING **DATE**

☒ FINAL DEVELOPMENT PLAN 21 AUG 25

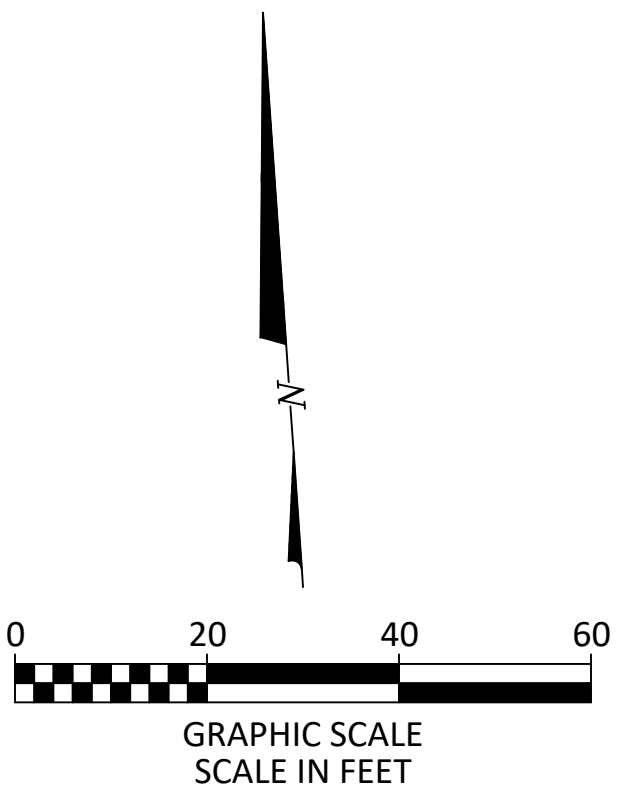
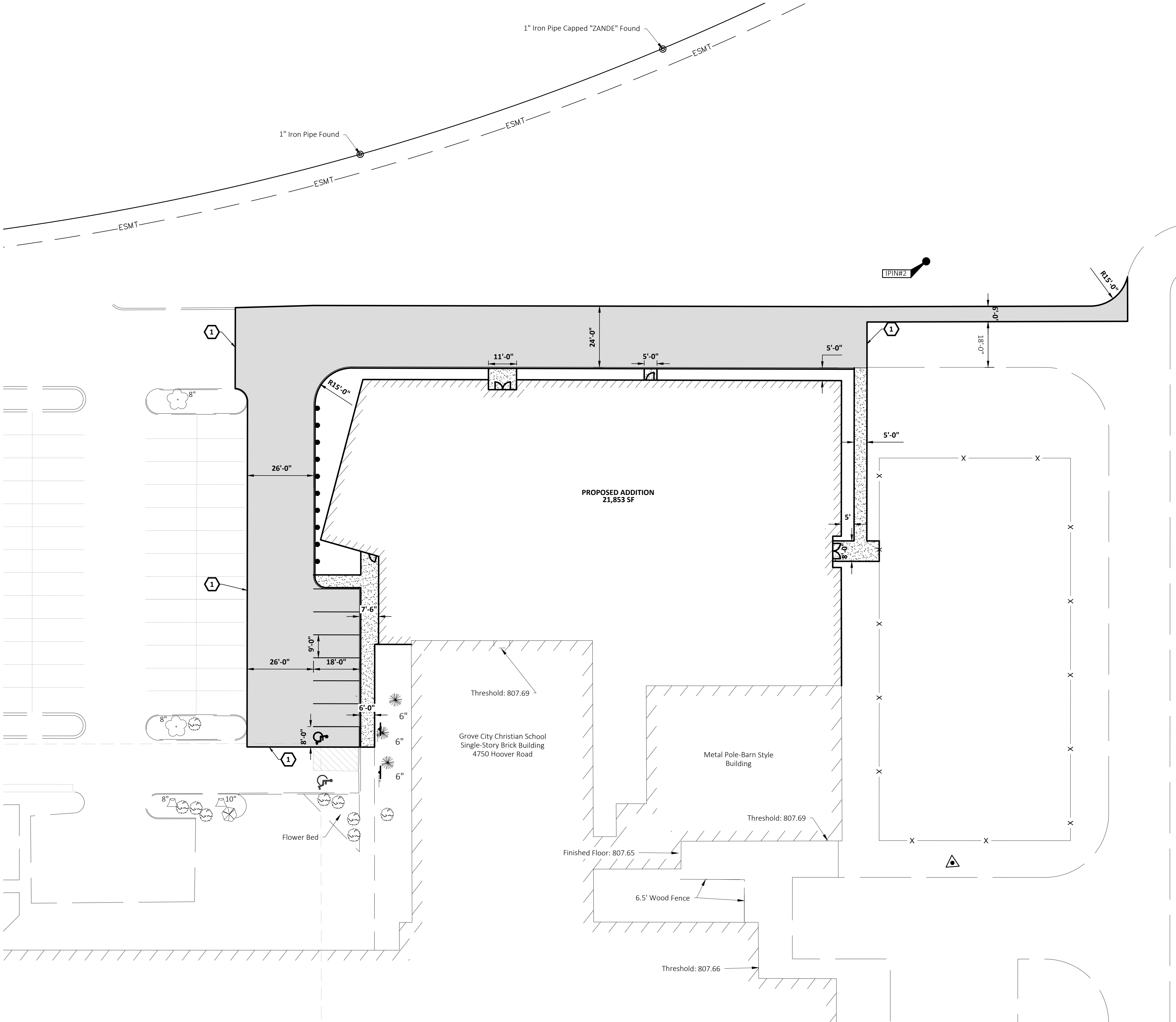
- ☐
- ☐
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REVISIONS

DEMOLITION PLAN

C001

224438



STAKING LEGEND

EXISTING	REFER TO SHEET TS1
PROPOSED	
	BUILDING/WALL
	PAVEMENT
	WALK
	PAVEMENT MARKING
	PAINTED WHEELCHAIR SYMBOL
	BOLLARD PER ARCHITECTURAL DETAILS
	SIGN PER DETAIL I/C102
	BUMPER BLOCK PER DETAIL D/C102
	CONCRETE CURB PER DETAIL C/C102
	LIGHT DUTY ASPHALT PER DETAIL A/C102
	CONCRETE SIDEWALK PER DETAIL B/C102

- GENERAL NOTES:**
- DIMENSIONS AND COORDINATES ARE GIVEN TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - CURB AND SIDEWALK RADII SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
 - PROVIDE STRIPING AND SYMBOLS AS SHOWN PER ODOT ITEM 641 AND 642. PROVIDE STRIPING PAINT WITH GLASS BEADS. PROVIDE TYPE I OR TYPE IA PAINT IN ACCORDANCE WITH ODOT ITEM 642 DEPENDING ON TEMPERATURE CONDITIONS AT THE TIME OF APPLICATION. TYPICAL LINE WIDTH SHALL BE 4 INCHES, COLOR WHITE. PROVIDE TWO COATS.
 - STANDARD PARKING STALL DIMENSIONS ARE 9'-0" IN WIDTH BY 18'-0" IN LENGTH UNLESS OTHERWISE NOTED.
 - SAWCUT FULL DEPTH SIDEWALK AND PAVEMENT WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. TAKE CARE TO PROVIDE NEAT STRAIGHT LINES. PROVIDE PAVEMENT SEALANT PER ODOT ITEM 423 AT JOINT BETWEEN EXISTING AND NEW ASPHALT. REMOVE CONCRETE TO NEAREST JOINT. PROVIDE 1/2" PREFORMED EXPANSION JOINT FILLER BETWEEN NEW AND EXISTING CONSTRUCTION.
 - ANY PROPERTY PINS DAMAGED AS PART OF CONSTRUCTION SHALL BE RESET BY AN OHIO REGISTERED SURVEYOR.
 - MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ADJACENT BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SIGNAGE NOT SHOWN ON THIS SHEET.
 - BUILDING COORDINATES PROVIDED FOR BUILDING LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.
 - PROVIDE CONTROL JOINTS PER DETAIL E/C102. PROVIDE ISOLATION JOINTS WHERE NEW CONCRETE ABUTS EXISTING STRUCTURES PER DETAIL F/C102 AND PER SPECIFICATIONS.

- CODED NOTES:**
- SAW-CUT EXISTING PAVEMENT WITH NEAT, STRAIGHT LINES. MATCH EXISTING PAVEMENT GRADE AT THIS POINT.

Architect is not responsible for any dimensions scaled from drawings. Dimensions noted take precedence.

ADDITION 100'-
GROVE CITY CHRISTIAN SCHOOL
 -ADDITION
 4750 HOOVER ROAD
 GROVE CITY, OH 43123

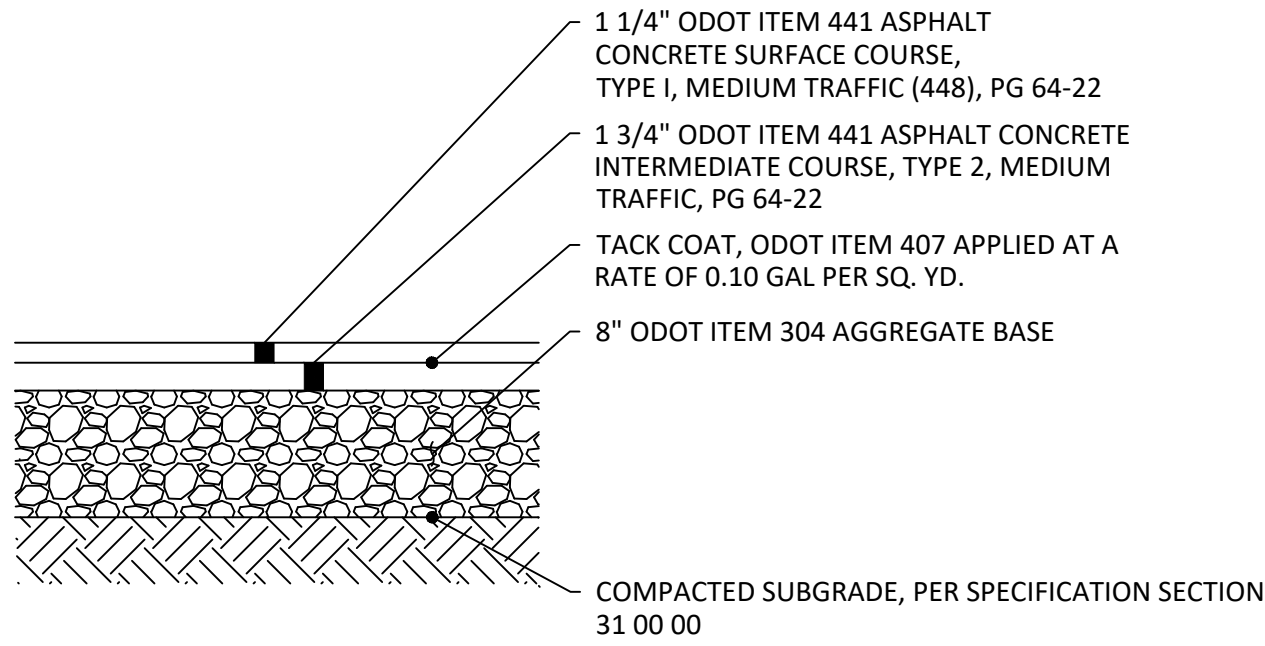
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☒ FINAL DEVELOPMENT PLAN	21 AUG 25
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REVISIONS

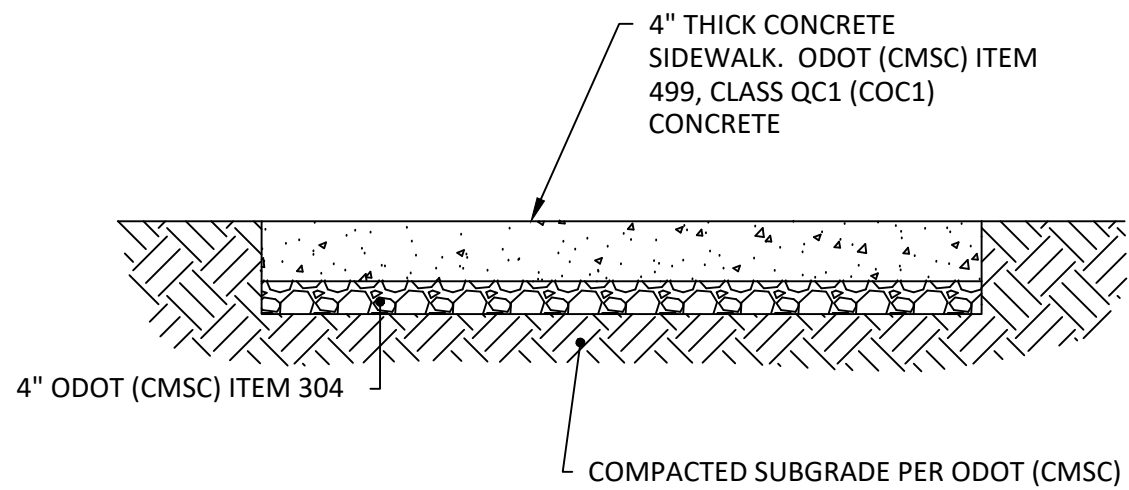
STAKING PLAN

C101

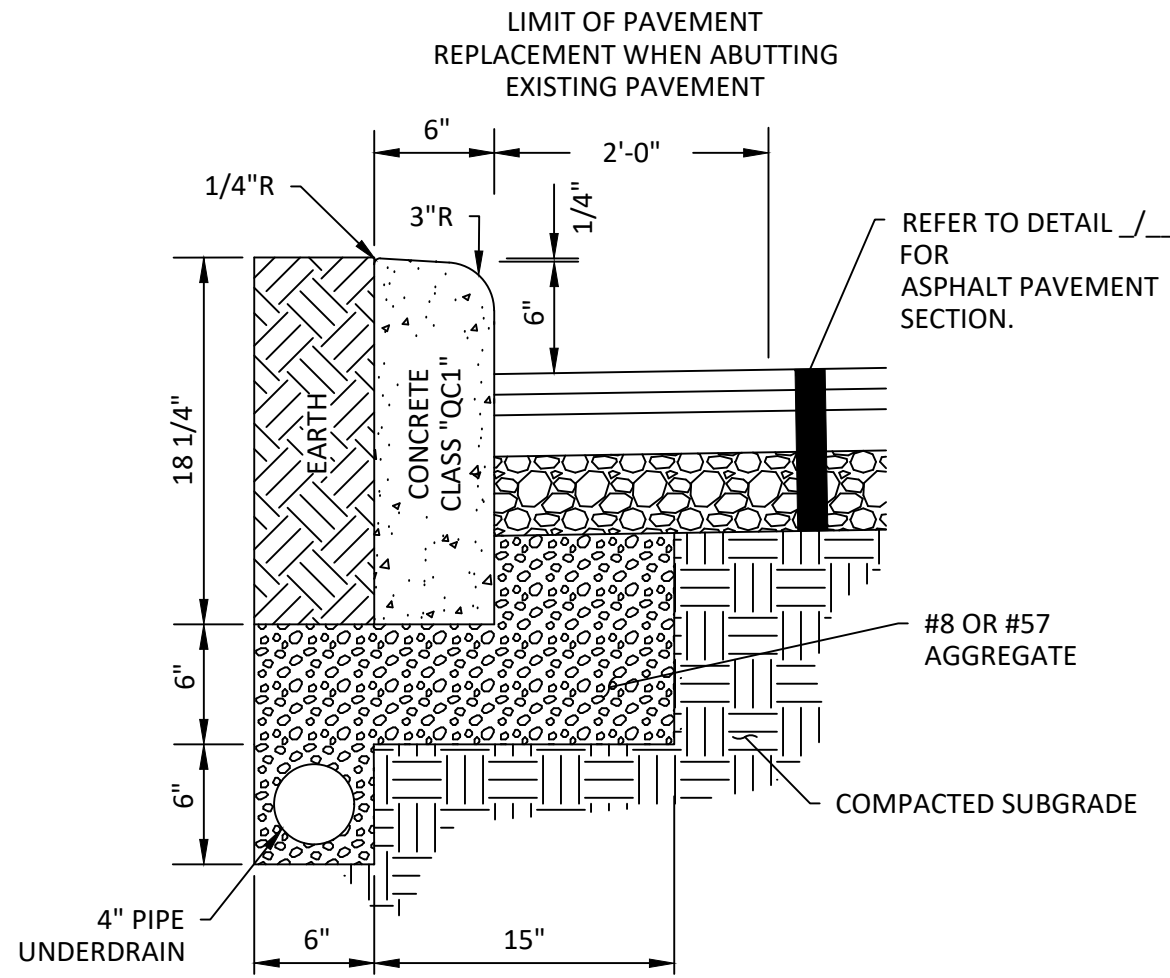
224438



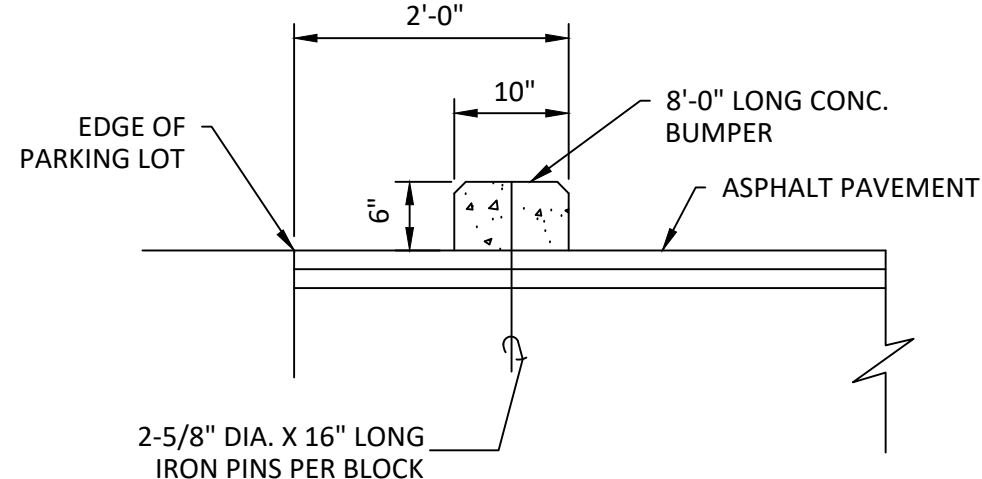
- NOTES:
1. COMPOSE HOT MIX ASPHALT MIXTURE WITH AGGREGATE AND ASPHALT BINDER MEETING ODOT REQUIREMENTS.
 2. SUBMIT AN APPROVED JOB MIX FORMULA INCLUDING MIX TYPE PROPOSED FOR USE, AGGREGATE SOURCE, TYPE, AND GRADATION, PERCENT OF ASPHALT BINDER, AND UNIT WEIGHT OF THE MIXTURE.
 3. OBTAIN JOB MIX FORMULA APPROVAL BY PROVIDING A PREVIOUSLY ODOT APPROVED FORMULA.
 4. THE OWNER'S TESTING AGENCY WILL PROVIDE QUALITY ASSURANCE TESTING IN ACCORDANCE WITH ODOT ITEM 441 AND SUPPLEMENTAL SPECIFICATION 1055.
 5. PROVIDE COMPACTION RANGING FROM 90 TO 97.9% OF THE AVERAGE MAXIMUM SPECIFIC GRAVITY FOR SURFACE COURSE AND 90 TO 96.9% FOR INTERMEDIATE COURSE. REMOVE AND REPLACE MATERIAL PLACED OUTSIDE OF SAID RANGES. PROVIDE REPLACEMENT PAVEMENT AND QUALITY ASSURANCE TESTING AT NO ADDITIONAL COST TO THE OWNER.



- NOTES:
- CONCRETE WALKS TO HAVE SOFT BROOM FINISH PERPENDICULAR TO TRAFFIC FLOW (BUFF WASH FINISH), RUB OUT ALL TOOL MARKS. PROVIDE JOINTS AS INDICATED ON DRAWINGS. IN ABSENCE OF INFORMATION ON THE DRAWINGS, LOCATE AS SPECIFIED IN SECTION 32 13 00. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%
- A. CURING COMPOUND: COMPLY WITH ASTM C309-19, TYPE 1, CLASS B (CLEAR), EXCEPT MOISTURE LOSS NOT TO EXCEED 0.40 KG/SQ. M. IN 72 HOURS. COMPOUND SHALL COMPLY WITH EPA'S VOC REQUIREMENTS. APPLY AT THE MANUFACTURER'S WRITTEN RECOMMENDED APPLICATION RATE. COMPLETELY REMOVE CURING COMPOUND PRIOR TO APPLICATION OF PENETRATING SEALER.
- B. PENETRATING SEALER: ACCEPTABLE PRODUCTS INCLUDE, BUT ARE NOT LIMITED TO:
1. L&M CONSTRUCTION CHEMICALS - AQUAPEL PLUS 40
 2. PROSOCO - SALTGUARD WB
 3. HULS AMERICA INC. - CHEM-TRETE BSM 40
 4. MASTER BUILDERS INC. - MASTERSEAL SL 40
 5. LYMTAL INTERNATIONAL - ISO-FLEX 618-50 WB
 6. BASF - ENVIROSEAL 40 OR HYDROZO SILANE 40
 7. TEX-COTE - RAINSTOPPER RS140



- NOTES:
1. ALL EXPOSED SURFACES OF CONCRETE CURB TO BE FLOATED AND BRUSH FINISHED, UNLESS PLACED BY A CURB MACHINE.
 2. PROVIDE JOINTS PER SPECIFICATION SECTION 32 13 00.



A DETAIL

LIGHT DUTY ASPHALT PAVEMENT

N.T.S.

B DETAIL

CONCRETE SIDEWALK

N.T.S.

C DETAIL

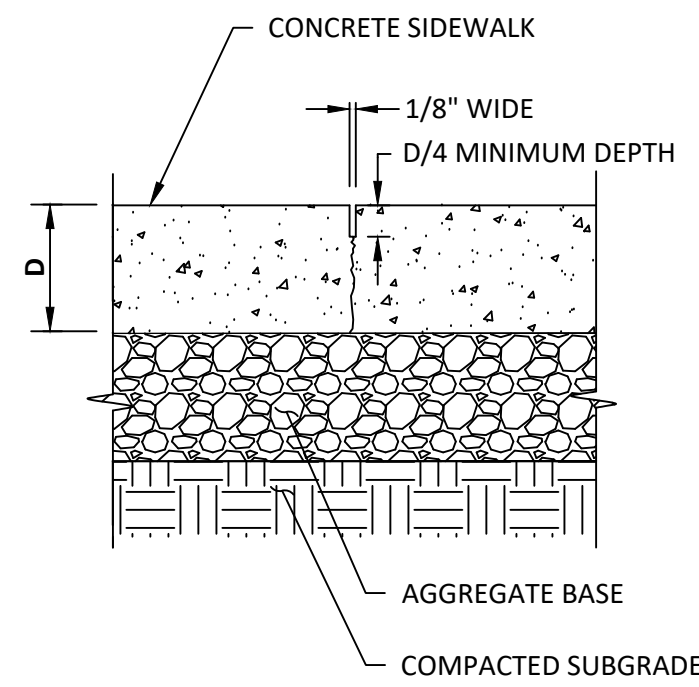
STRAIGHT 18" CONCRETE CURB WITH UNDERDRAIN

N.T.S.

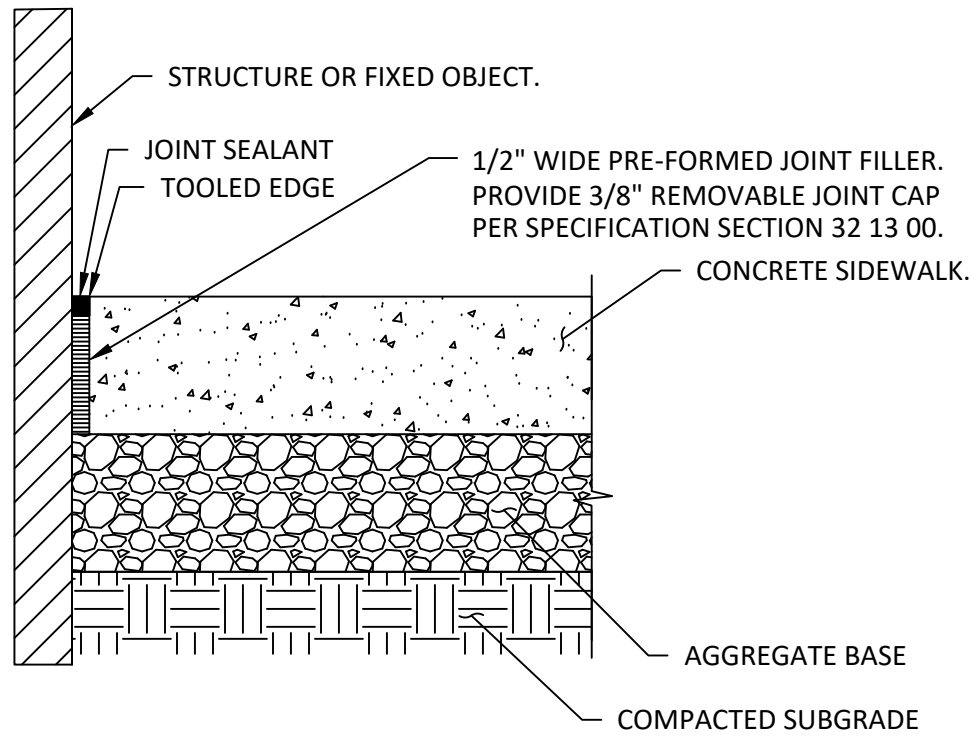
D DETAIL

BUMPER BLOCK

N.T.S.



- NOTES:
1. PLACE CONTROL JOINTS WITHIN 8 HOURS OF CONCRETE PLACEMENT AND AT LOCATIONS INDICATED ON THE STAKING PLAN. IF JOINTS ARE NOT SHOWN ON STAKING PLAN, PROVIDE AT LOCATIONS INDICATED BELOW:
 - A. SPACING (IN FEET) SHALL BE BETWEEN 2 TO 2-1/2 TIMES SLAB THICKNESS (IN INCHES IN BOTH DIRECTIONS (I.E. 4" SLAB SHALL HAVE JOINT SPACING OF 8-10 FEET).
 - B. GRID OF CONTROL JOINTS SHALL BE APPROXIMATELY SQUARE WITH LONGEST SIDE TO BE NOT LONGER THAN 1.5 TIMES THE SHORTEST SIDE (I.E. 4 FOOT WIDE WALK SHALL HAVE JOINT SPACING AT 4-6 FEET).

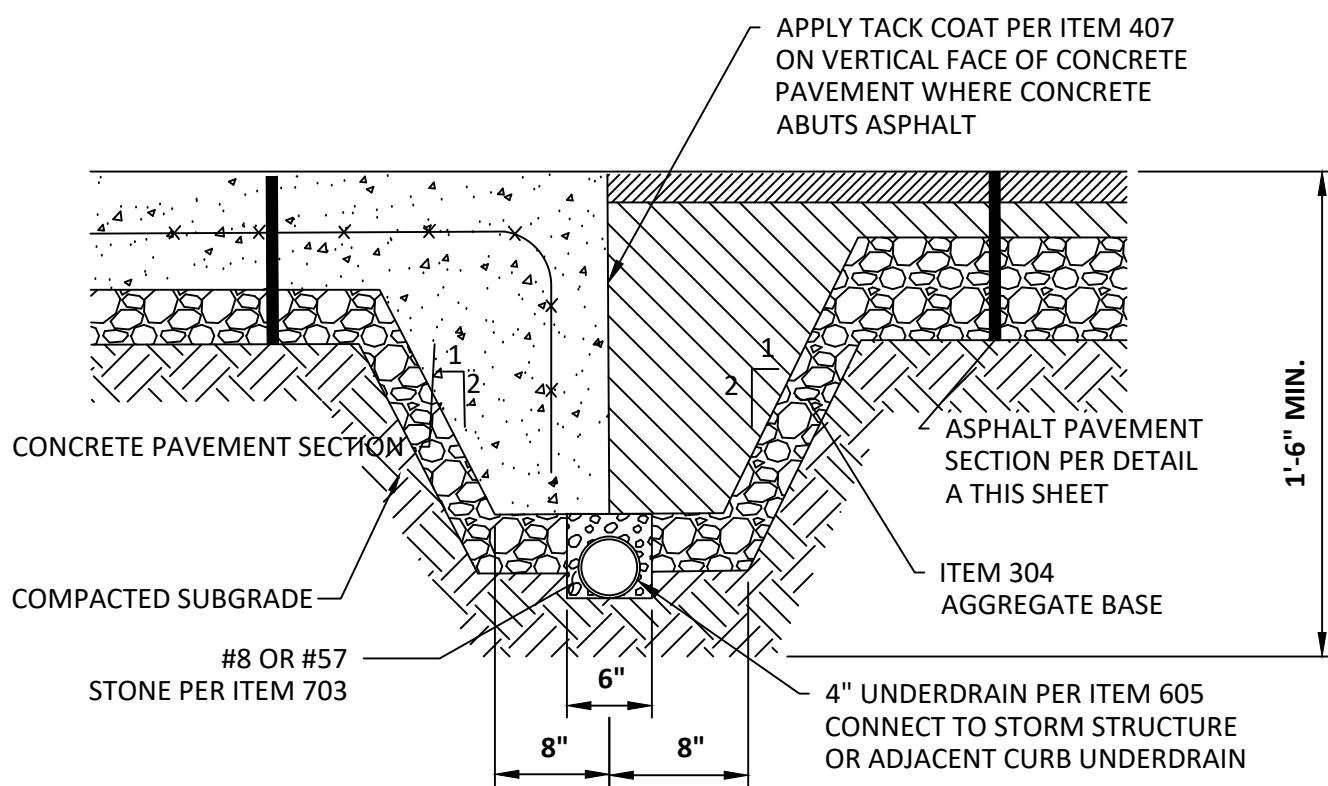


- NOTES:
1. PLACE ISOLATION JOINTS WHERE NEW CONCRETE SLAB ABUTS STRUCTURES OR FIXED OBJECTS INCLUDING: BUILDINGS, WALLS, COLUMNS, POLE BASES, CURBS, CATCH BASINS, EXISTING CONCRETE, OR AS NOTED ON THE STAKING PLAN.
 2. PROVIDE AT FORMED EDGE OF PREVIOUSLY POURED SLABS. SEAL JOINT WITH JOINT SEALANT, SEE SPECIFICATION SECTION 32 13 00.
 3. SUBMIT SAMPLE FOR COLOR APPROVAL. PRE-FORMED JOINT FILLER - NON-IMPREGNATED TYPE, CLOSED CELL RESILIENT POLYETHYLENE FOAM, 1/2" THICK UNLESS OTHERWISE NOTED, CERAMAR FLEXIBLE FOAM EXPANSION JOINT BY W.R. MEADOWS OR EQUAL MEETING THE REQUIREMENTS OF ASTM D 1752 SECTIONS 5.1 THROUGH 5.4. REFER TO SPECIFICATION SECTION 32 13 00.

E DETAIL

SAW CUT CONCRETE CONTROL JOINT-
LONGITUDINAL OR TRANSVERSE

N.T.S.



- NOTE:
1. CONTRACTOR SHALL PROVIDE TURNDOWN ANYWHERE ASPHALT AND CONCRETE OR CONCRETE BASE PAVEMENT MEET.

G DETAIL

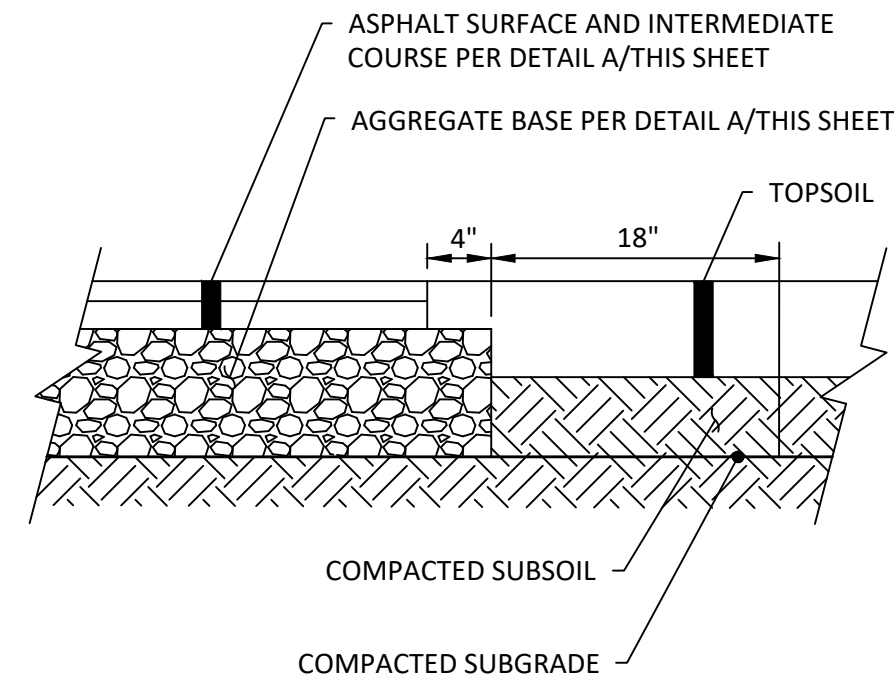
ASPHALT CONCRETE TURNDOWN SLAB

N.T.S.

H DETAIL

ASPHALT PAVEMENT EDGE

N.T.S.

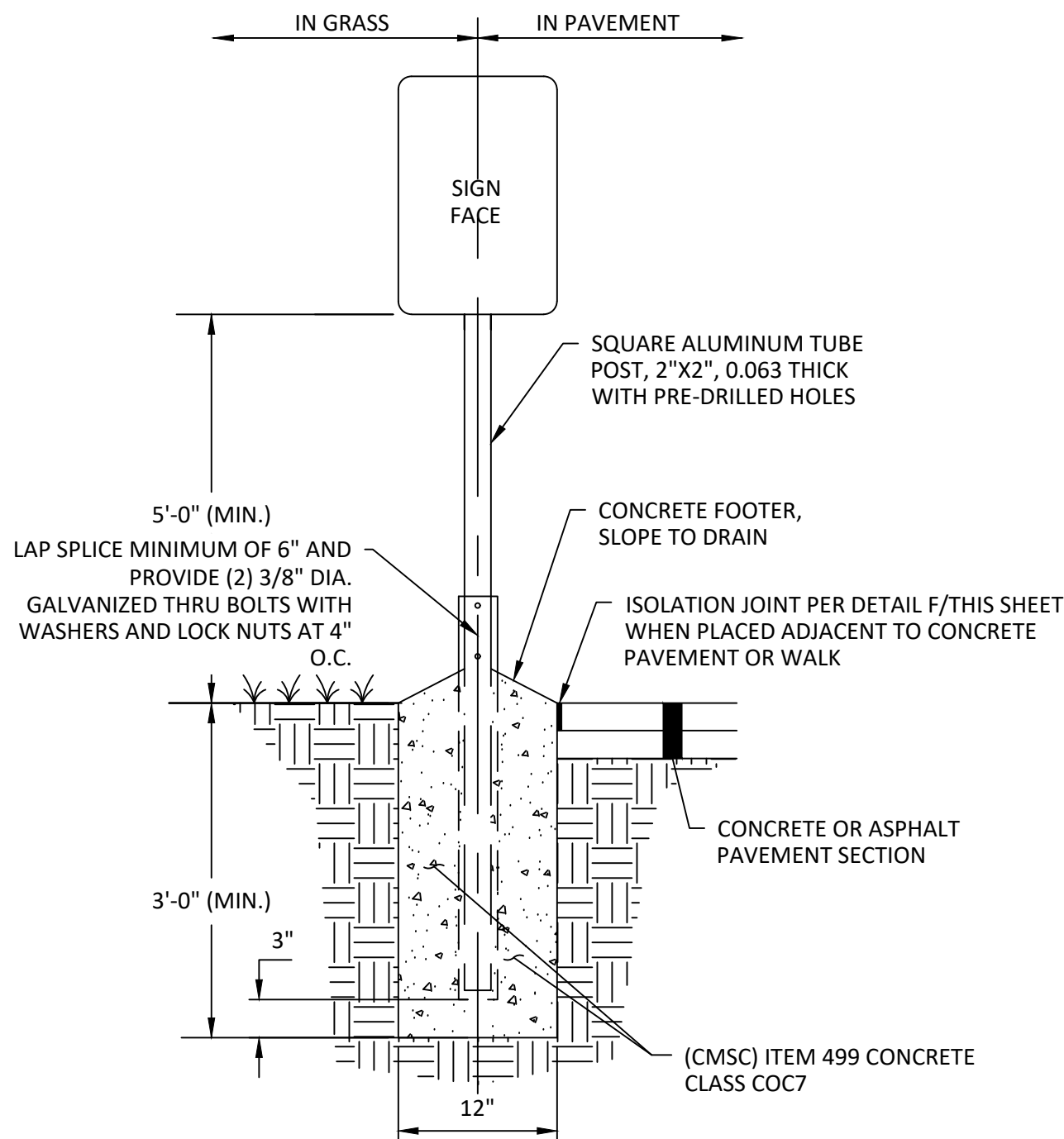


- NOTE:
1. APPLIES WHERE CURB, WALK OR STRUCTURE DOES NOT ABUT PAVEMENT.

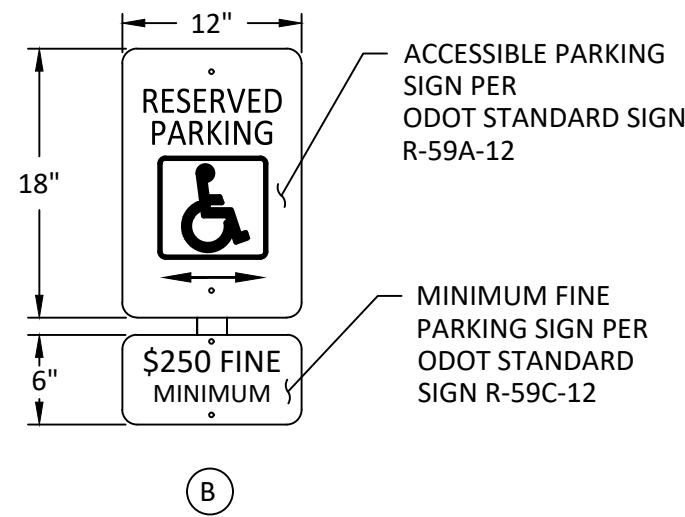
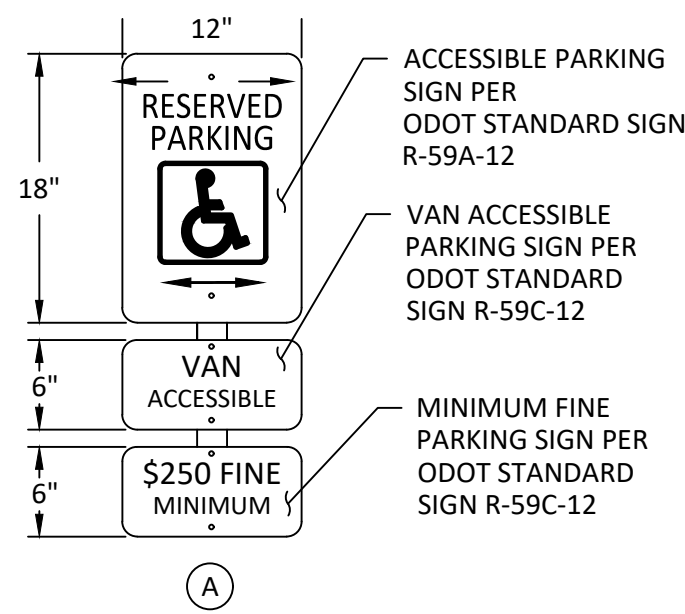
I DETAIL

PARKING SIGNS

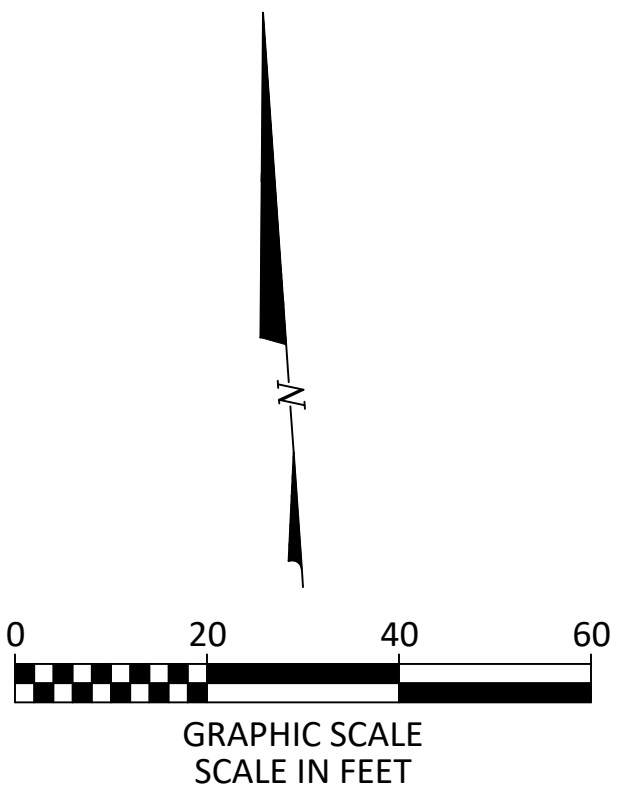
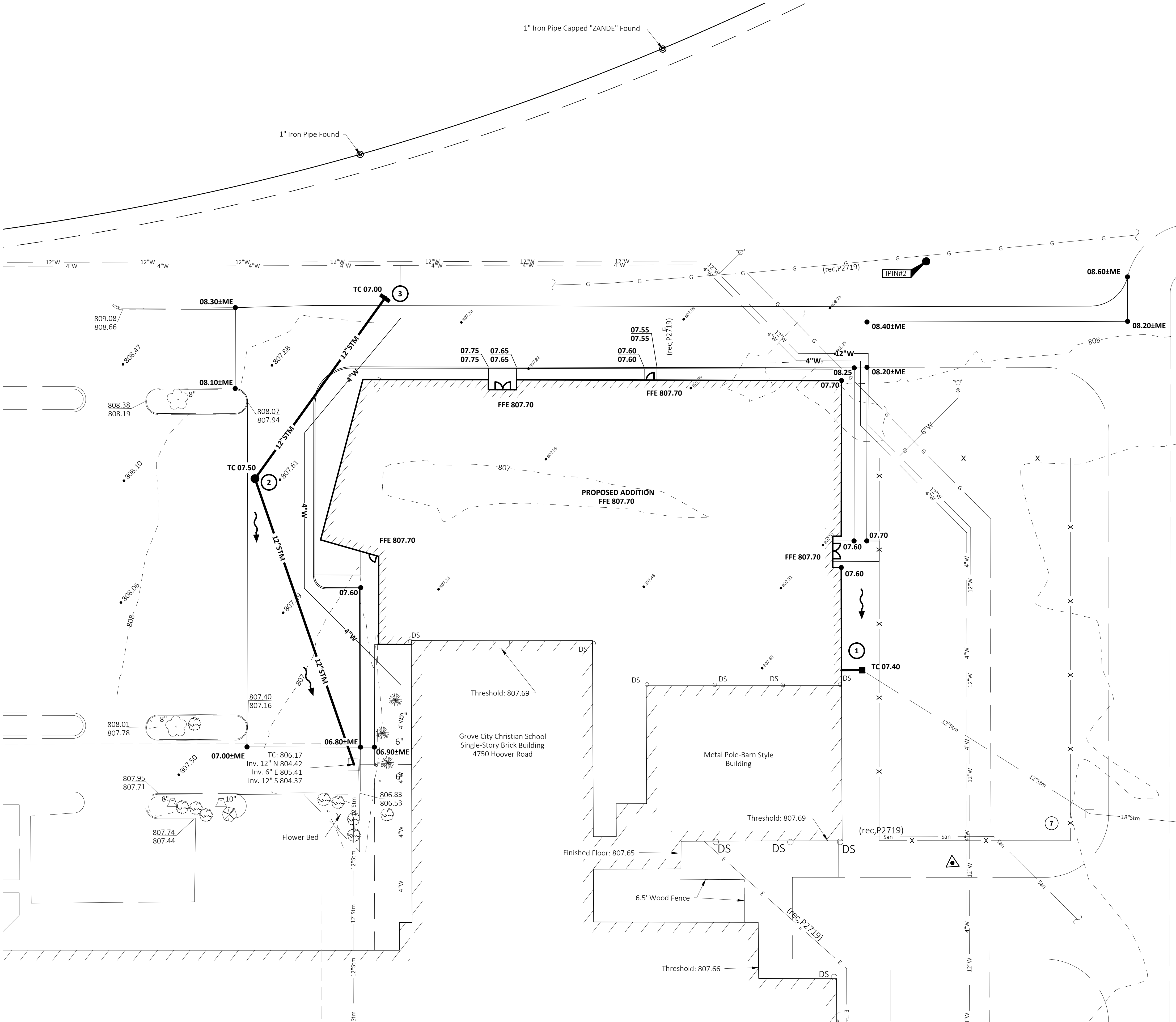
N.T.S.



- NOTES:
1. PROVIDE SIGN IN ACCORDANCE WITH ODOT ITEM 630.
 2. PROVIDE 0.063 THICK, FLAT ALUMINUM SIGN PANELS.
 3. PROVIDE REFLECTIVE FINISH ON SIGN.
 4. PROVIDE PERMANENT WEATHERPROOF ALUMINUM CAP ON POST TOP.
 5. PROVIDE "VAN ACCESSIBLE" SIGN WHERE NOTED ON DRAWINGS.
 6. ATTACH SIGNS WITH UNISTRUIT UNIVERSAL DRIVE RIVET OR APPROVED EQUAL.
 7. ACCESSIBLE SIGNAGE TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED BY LOCAL CODE.



Plot Date: 8/20/2025 10:36:46 AM c201 grading & storm sewer plan.dwg Kevin Wirfel



GRADING LEGEND	
EXISTING	
REFER TO SHEET TS1	
PROPOSED	
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	BUILDING/WALL
	WATER LINE
	STORM SEWER
	SANITARY SEWER
	REMOVE EXISTING UTILITY
	CATCH BASIN PER DETAIL C-GC-04
	MANHOLE PER DETAIL C-GC-01
	GATE VALVE & CURB BOX
	CLEAN OUT
	REMOVE EX. STRUCTURE
	STRUCTURE NUMBER
	SPOT ELEVATION
	TOP OF CASTING
	TOP OF CURB ELEVATION
	GUTTER ELEVATION AT FACE OF CURB
	FLOW DIRECTION ARROW
	EMERGENCY OVERFLOW
	MATCH EXISTING ELEVATION

- GENERAL NOTES:**
1. PROVIDE 10" UNDERDRAINS IN FOUR DIRECTIONS AT CATCH BASINS IN PAVEMENT.
 2. PAVEMENT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATION AT FACE OF CURB UNLESS OTHERWISE NOTED.
 3. ADD 800 TO SPOT ELEVATIONS TO OBTAIN U.S.G.S. ELEVATIONS.
 4. CONSTRUCTION WORK WILL NOT BE PERMITTED WITHOUT APPROVED PLANS AND INSPECTION.
 5. PERFORM WORK IN ACCORDANCE WITH CITY OF GROVE CITY MATERIAL SPECIFICATIONS AND STANDARD CONSTRUCTION DRAWINGS. IN CASE OF A DISCREPANCY BETWEEN CITY OF GROVE CITY REQUIREMENTS AND PROJECT SPECIFICATIONS, CITY OF GROVE CITY STANDARDS SHALL GOVERN.
 6. SOIL EROSION AND SEDIMENTATION BMP MEASURES, PER SHEET ###, SHALL BE INSTALLED PRIOR TO START OF ANY CONSTRUCTION AND SHALL BE MAINTAINED UNTIL CONSTRUCTION HAS BEEN COMPLETED, INCLUDING GRASS BEING WELL ESTABLISHED AND/OR PERMANENT EROSION AND SEDIMENTATION BMP MEASURES IN PLACE. BMP MEASURES SHALL BE TO THE SATISFACTION OF THE CITY OF GROVE CITY.
 7. STREET CLEANING (ON AN AS-NEEDED BASIS) IS REQUIRED THROUGHOUT THE DURATION OF THIS CONSTRUCTION PROJECT. THIS INCLUDES SWEEPING, POWER CLEANING, AND (IF NECESSARY) MANUAL REMOVAL OF DIRT AND/OR MUD IN THE STREET GUTTERS.
 8. REMOVE SEDIMENT FROM DETENTION AREAS, OUTLET STRUCTURES, AND UNDERDRAINS ONCE FINAL SEED HAS BEEN ESTABLISHED.
 9. ANY EXISTING STORM INLETS IMPACTED BY THE NEW CONSTRUCTION ACTIVITY WILL NEED THE APPROPRIATE INLET PROTECTION FOR SEDIMENT CONTROL.
 10. DIMENSIONS AND COORDINATES ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 11. EXTEND UTILITIES TO WITHIN 5'-0" OF FACE OF BUILDING UNLESS OTHERWISE NOTED. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
 12. MAXIMUM FINISH SLOPES SHALL BE 4:1 UNLESS OTHERWISE NOTED.
 13. COORDINATES AND ELEVATIONS BASED ON SURVEY PERFORMED BY KORDA NEMETH ENGINEERING INC, DATED 8/7/2025. REFER TO SHEET TS1.
 14. CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL THROUGHOUT THE SITE PRIOR TO EXCAVATION. UPON COMPLETION OF FINAL GRADING, PROVIDE 6 INCHES OF TOPSOIL AND SEED AREAS DISTURBED BY CONSTRUCTION, INCLUDING LAYDOWN AREAS AND TRAILER LOCATIONS IF LOCATED OUTSIDE THE GRADING/SEEDING LIMITS.
 15. DISPOSE EXCESS EXCAVATED MATERIALS AND UNACCEPTABLE/UNSUITABLE SOILS OFF SITE IN ACCORDANCE WITH LOCAL CODES. NO PERMANENT STOCKPILES WILL REMAIN ON SITE.
 16. EXISTING VALVES, MANHOLES, AND OTHER APPURTANCES TO REMAIN LOCATED WITHIN THE WORK LIMITS SHALL BE ADJUSTED TO FINISH GRADE.
 17. OUTLET CURB UNDERDRAINS TO ADJACENT EXISTING UNDERDRAINS OR STORM SEWER SYSTEM.
 18. EXPOSE UTILITIES NOTED THUS: **EXPOSE** PRIOR TO BEGINNING WORK ON THAT UTILITY TO DETERMINE EFFECTS ON THE PROPOSED ALIGNMENT AND PROFILE. REPORT ELEVATION AND LOCATION TO THE ENGINEER IN ORDER THAT ANY CORRECTIONS TO THE ELEVATION AND LOCATION CAN BE MADE.
 19. CONCRETE ADJACENT TO BUILDING SHALL BE SLOPED AWAY FROM BUILDING AT 2.0% UNLESS OTHERWISE NOTED.
 20. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

Architect is not responsible for any dimensions scaled from drawings. Dimensions noted take precedence.

ADDITION 10'x
**GROVE CITY CHRISTIAN
SCHOOL
-ADDITION**
4750 HOOVER ROAD
GROVE CITY, OH 43123

DRAWING DATE
☒ FINAL DEVELOPMENT PLAN 21 AUG 25

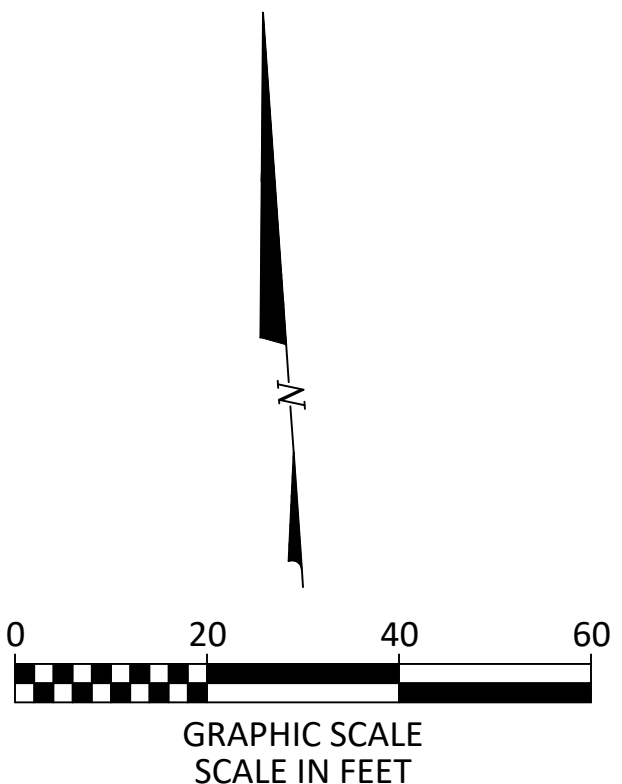
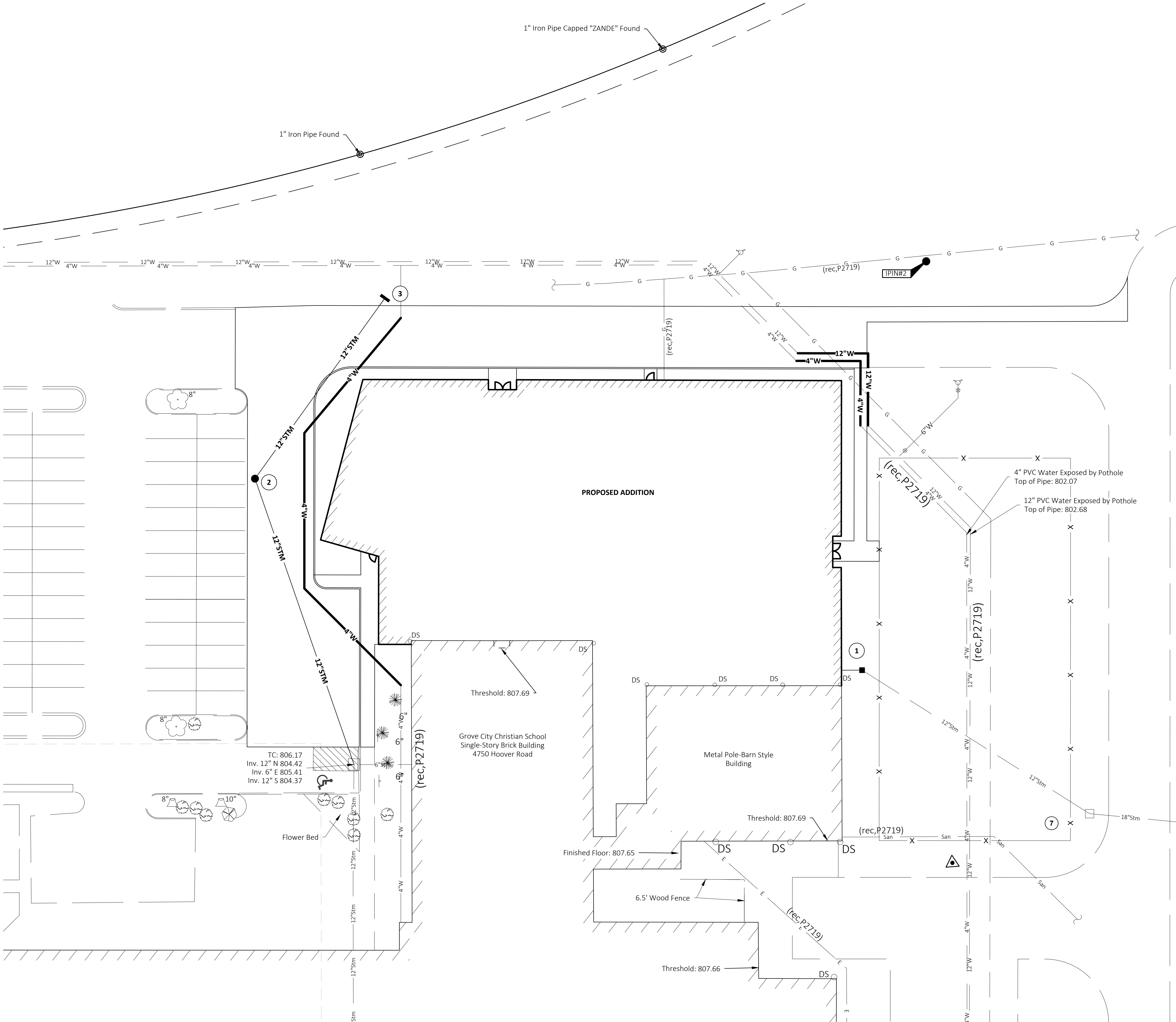
REVISIONS

GRADING & STORM
SEWER PLAN

C201

224438

Plot Date: 8/20/2025 10:36:57 AM c301 utility plan.dwg Kevin Wirfel



UTILITY LEGEND	
EXISTING	
REFER TO SHEET TS1	
PROPOSED	
	UNDERGROUND ELECTRIC LINE
	WATER LINE
	WATER SERVICE
	FIRE PROTECTION SERVICE LINE
	GAS LINE
	STORM SEWER
	UNDERDRAIN
	SANITARY SEWER
	CUT AND PLUG EXISTING UTILITY
	ABANDON EXISTING UTILITY
	REMOVE EXISTING UTILITY
	FIRE HYDRANT
	GATE VALVE & CURB BOX
	FIRE DEPARTMENT CONNECTION
	CLEAN OUT
	MANHOLE
	CATCH BASIN PER DETAIL C-GC-04
	REMOVE EX. STRUCTURE
	STRUCTURE NUMBER
	REMOVE AND REPLACE PAVEMENT IN KIND

- GENERAL NOTES:**
- DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
 - EXTEND UTILITIES TO WITHIN 5' OF FACE OF BUILDING, UNLESS OTHERWISE NOTED. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
 - REFER TO SHEETS C201 FOR STORM SEWER INFORMATION.
 - MAINTAIN MINIMUM 4'-0" COVER OVER ALL WATERLINES. REFER TO SHEET XXX FOR PROFILE.
 - MAINTAIN MINIMUM 18" VERTICAL CLEARANCE FROM THE OUTSIDE OF ANY WATERLINE PIPE TO THE OUTSIDE OF ANY STORM OR SANITARY SEWER.
 - PROVIDE THRUST BLOCKS OR RESTRAINED MECHANICAL JOINT PIPE AT EACH VALVE, TEE, FITTING, OR CHANGE IN DIRECTION OF WATERLINE.
 - REFER TO CITY OF COLUMBUS STANDARD DRAWINGS FOR TYPICAL FIRE HYDRANT INSTALLATION DETAILS.
 - ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
 - CONNECTION TO EXISTING WATER MAINS SHALL NOT BE PERFORMED UNTIL THE NEW LINES HAVE BEEN SANITIZED AND ALL TESTS HAVE BEEN COMPLETED AS SPECIFIED BY THE CITY OF COLUMBUS AND THESE CONTRACT DOCUMENTS.
 - ALL COORDINATES AND ELEVATIONS BASED ON SURVEY PERFORMED BY KORDA NEMETH ENGINEERING INC. DATED 8/7/2025. REFER TO SHEET TS1.
 - WHERE PLANS PROVIDE FOR A PROPOSED UTILITY TO BE CONNECTED TO, OR CROSS OVER, OR UNDER AN EXISTING UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES, BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED UTILITY. THESE LOCATIONS ARE NOTED THUS: **EXPOSE**. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXPOSED UTILITY DIFFERS FROM THE PLAN ELEVATION, RESULTS IN A CHANGE IN THE PLAN SEWER SLOPE, OR WILL INTERSECT AN EXISTING UTILITY AS SHOWN ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED UTILITY WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS.
 - SUPPORT AND PROTECT ALL UTILITIES EXPOSED DURING EXCAVATION AND TRENCHING.
 - ANY REQUIRED WATERLINE SHUT-DOWNS SHALL BE COORDINATED WITH THE OWNER AND/OR THE CITY.

Architect is not responsible for any dimensions scaled from drawings. Dimensions noted take precedence.

ADDITION TO:
GROVE CITY CHRISTIAN SCHOOL
-ADDITION
4750 HOOVER ROAD
GROVE CITY, OH 43123

DRAWING DATE
☒ FINAL DEVELOPMENT PLAN 21 AUG 25

REVISIONS

UTILITY PLAN

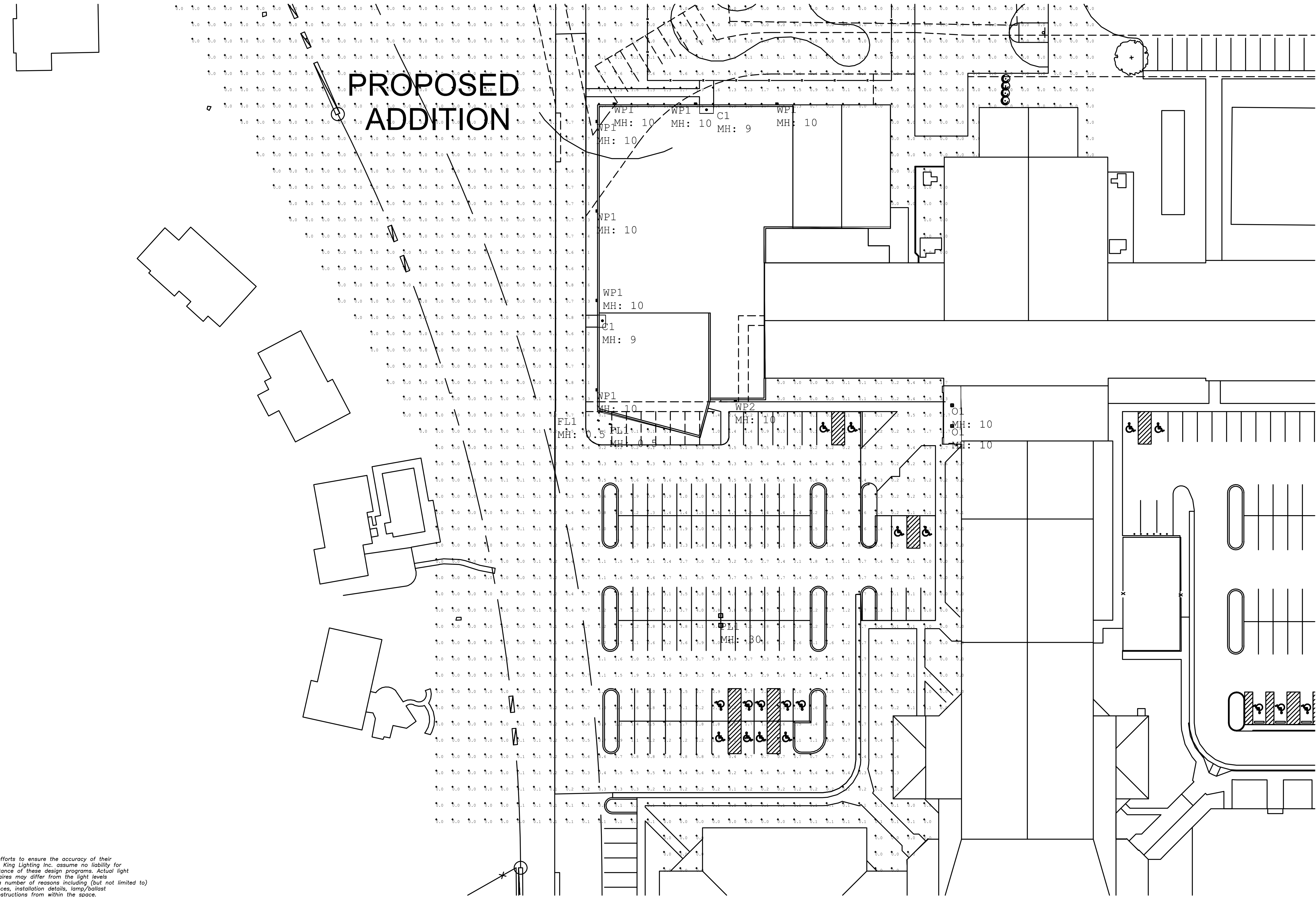
C301

224438

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	Total Watts	Lum. Lumens	
	2	C1	Single	0.900	LDN6 ALO1 (500LM) SWW1 (4000K) AR LSS 80CRI	6.1226	12.245	626	
	2	FL1	Single	0.900	DSXF1 LED P1 40K MFL	21	42	2692	
	2	O1	Single	0.900	CNY LED ALO SWW2 UVOLT PE PIR DDB 40K 7500L	51.2	102.4	7414	
	1	PL1	Back-Back	0.900	2 x DSX1 LED P9 40K 70CRI T5M	277.07	554.14	35503	
	7	WP1	Single	0.900	WDGE2 LED P2 40K 70CRI T3M	18.9815	132.871	2327	
	1	WP2	Single	0.900	WDGE2 LED P2 40K 70CRI TFTM	18.9815	18.982	2291	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	0.36	12.7	0.0	N.A.	N.A.
Lot & Drive	Illuminance	Fc	1.34	4.1	0.0	N.A.	N.A.

Note: PL1 on existing 30ft poles.



Disclaimer:
AGI and Genlyte has made great efforts to ensure the accuracy of their program, however AGI, Genlyte and King Lighting Inc. assume no liability for the decisions made with the assistance of these design programs. Actual light levels generated by installed luminaires may differ from the light levels predicted by AGI or GENESYS for a number of reasons including (but not limited to) electrical supply, equipment tolerances, installation details, lamp/ballast interaction, thermal factors and obstructions from within the space.

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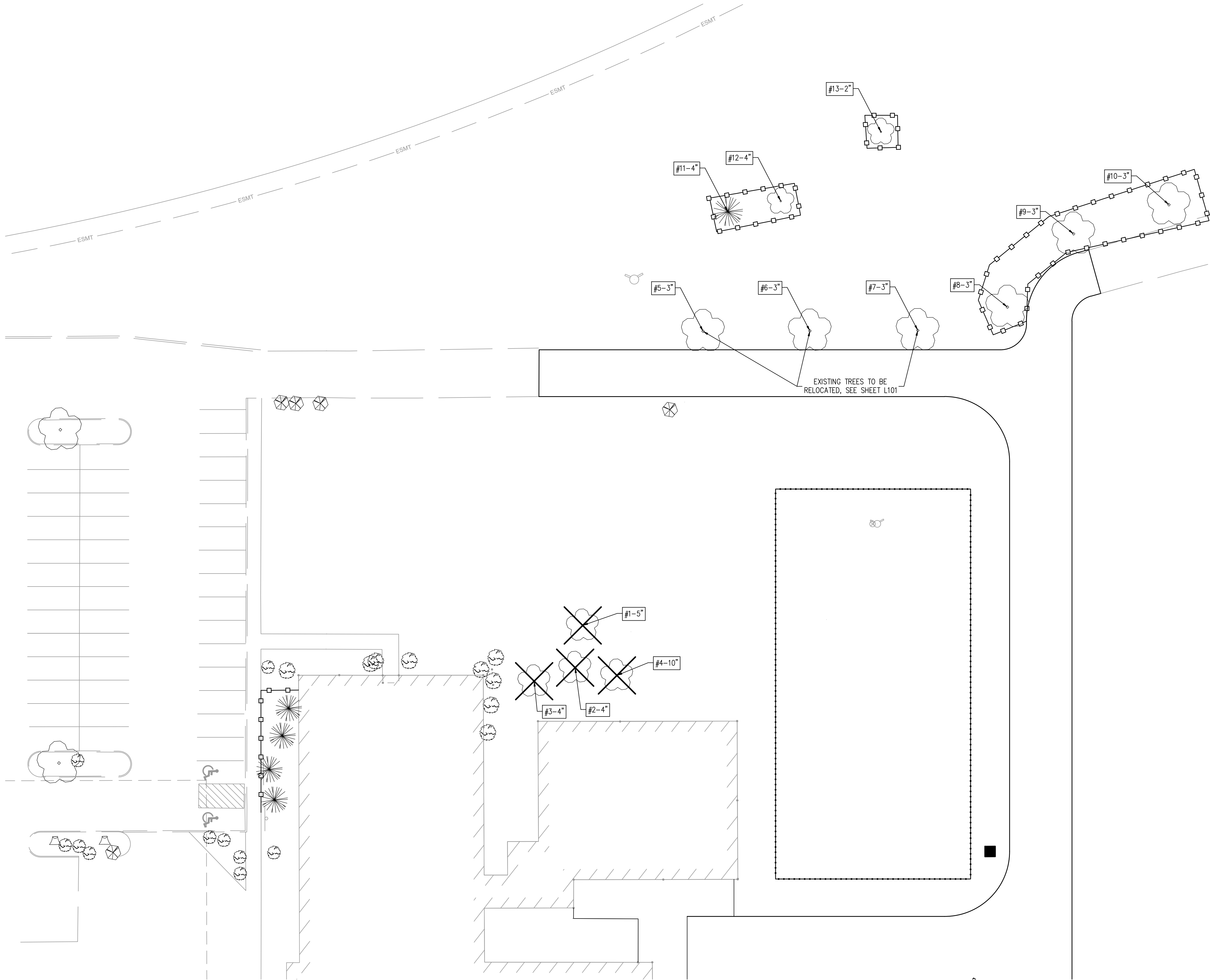
Design Criteria			
DESIGN FILE: Grove City School		FITURE LAYOUT IS BASED ON A 0.9 LIGHT LOSS FACTOR AND REFLECTANCE VALUES UNLESS NOTED OTHERWISE.	
MINIMUM: MAXIMUM: AVERAGE:	AVE./MIN: MAX./MIN:	INTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.F. UNLESS NOTED OTHERWISE.	EXTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.G. UNLESS NOTED OTHERWISE.



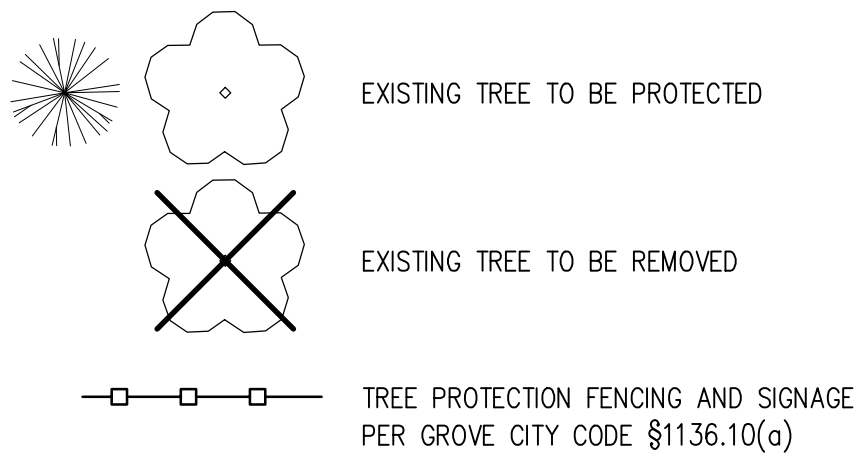
King Lighting, Inc.
330 James Bohanan Dr.
Vandalia, OH 45377
(937) 223-0303 Fax (937) 223-3322
www.king-lighting.com

Lighting Calculation Grove City Christian School Site				
Lighting Site Plan	SCALE 1/32"=1'	DESIGNER JG	CHECKED JG	DATE 8/19/2025
				SHEET S2

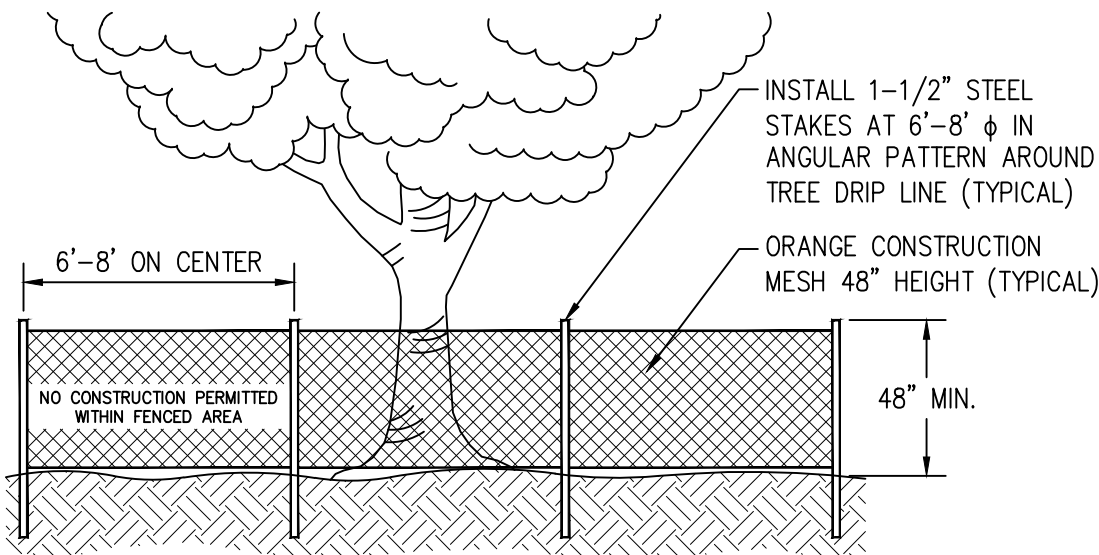
W:\Projects\2025\1000-1199\251014CAD\SHITS\251014_TREE PRESERVATION PLN.dwg Last saved: 8/20/2025 7:57 PM by MFord, plthel 8/20/2025 8:08 PM



LEGEND



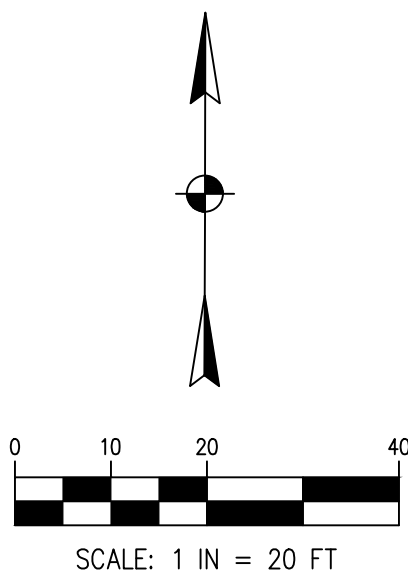
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1	Japanese Tree Lilac	Fair	5"	X
2	Crabapple	Fair	4"	X
3	Crabapple	Fair	4"	X
4	Linden	Good	10"	X
5	Maple	Good	3"	Protect
6	Honeylocust	Good	3"	Protect
7	Maple	Good	3"	Protect
8	Honeylocust	Good	3"	Protect
9	Maple	Good	3"	Protect
10	Honeylocust	Good	3"	Protect
11	Pine	Good	4"	Protect
12	Crabapple	Good	4"	Protect
13	Crabapple	Good	2"	Protect

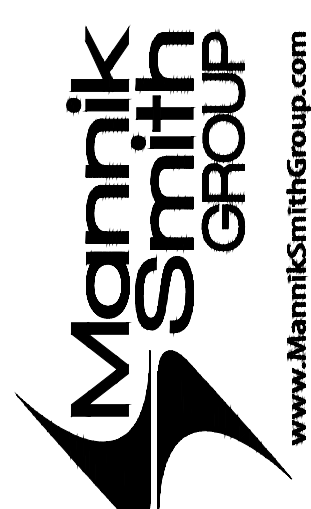


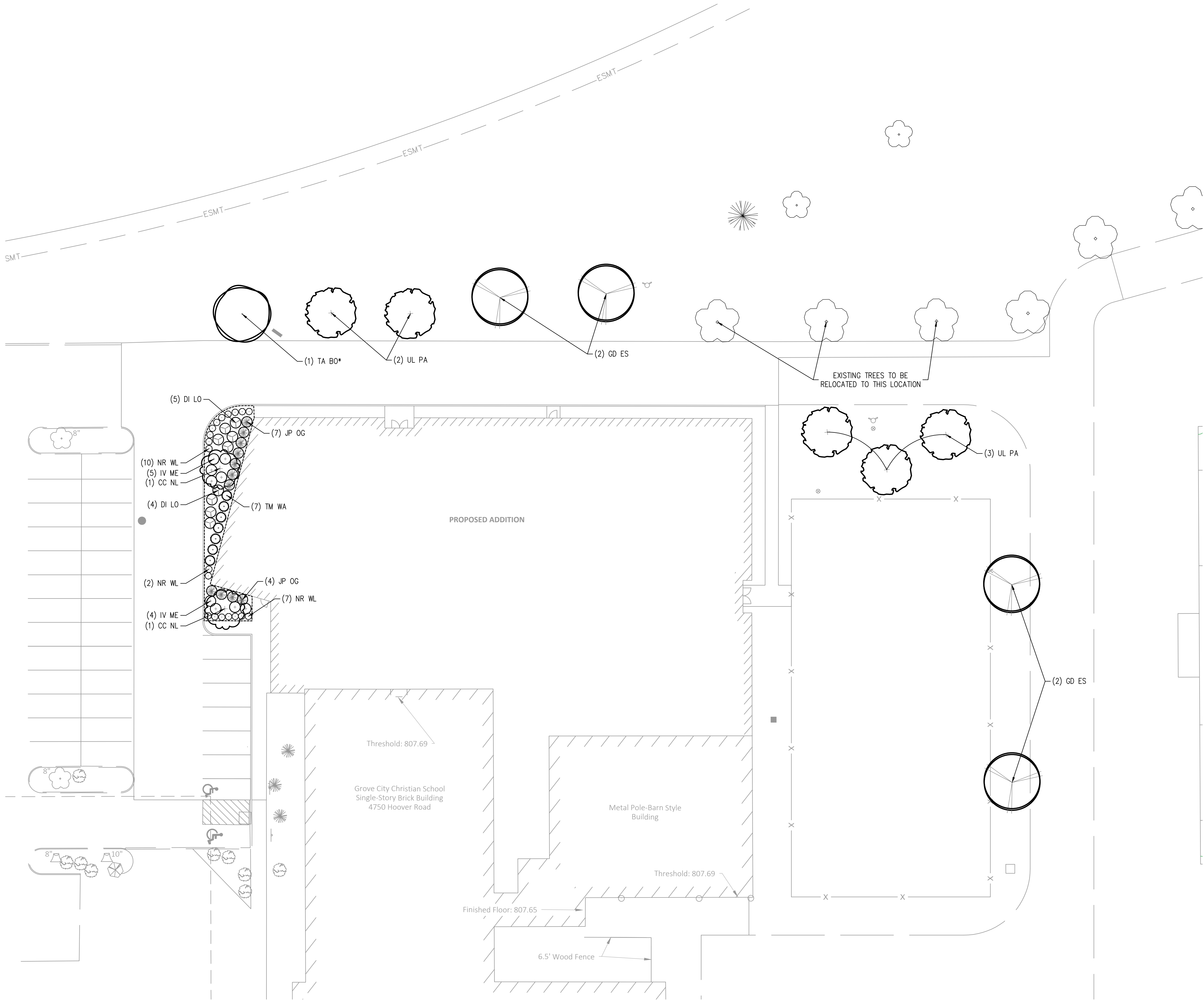
TREE PROTECTION DETAIL
NOT TO SCALE

TREE PROTECTION NOTES

1. TREE PROTECTION MEASURES SHALL BE INSTALLED PER THIS PLAN SHEET AT THE CRITICAL ROOT ZONE OF TREES TO BE PRESERVED PRIOR TO THE START OF ANY CLEARING, GRADING OR OTHER CONSTRUCTION ACTIVITY.
2. NO STORAGE OF ANY KIND IS PERMITTED WITHIN THE TREE PROTECTION ZONE. ANY ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE SOIL AND BACKFILLED WITH TOPSOIL WITHIN THE SAME DAY.
3. ALL VEGETATION THAT IS NOT DESIGNATED ON THE PLANS TO BE REMOVED SHALL BE PROTECTED FROM DAMAGE. TREES THAT ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.



NO.	DATE	BY	DESCRIPTION	1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 888.488.7400			PROJECT DATE: 08/21/2025 PROJECT NO: 2501014 DRAWN BY: MNF CHECKED BY: NAF		
TECHNICAL SKILL: CREATIVE SPIRIT.				 www.MannikSmithGroup.com					
PREPARED FOR: THE MCKNIGHT GROUP				3351 MCDOWELL ROAD, GROVE CITY, OH 43223					
SITE IMPROVEMENT PLAN FOR THE NAZ CHURCH				4770 HOOVER RD, GROVE CITY, OH 43123					
TREE INVENTORY AND PRESERVATION PLAN				L000					



LANDSCAPE PLANT LIST

ABRV.	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS	TYPE
GD ES	4	GYMNOCLADUS DIOICUS 'ESPRESSO'	ESPRESSO KENTUCKY COFFEE TREE	2" CALIPER	B&B	DECIDUOUS TREE
UL PA	5	ULMUS 'PATRIOT'	PATRIOT ELM	2" CALIPER	B&B	DECIDUOUS TREE
TA BO*	1	TILIA AMERICANA 'BOULEVARD'	BOULEVARD AMERICAN LINDEN	2" CALIPER	B&B	DECIDUOUS TREE
CC NL	2	CERCIS CANADENSIS 'WFHOLI'	NORTHERN LITES REDBUD	2" CALIPER	B&B	ORNAMENTAL TREE
DI LO	9	DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	2' HEIGHT	CONTAINER	DECIDUOUS SHRUB
IV ME	9	ITEA VIRGINICA 'MERLOT'	MERLOT SWEETSPIRE	2' HEIGHT	CONTAINER	DECIDUOUS SHRUB
JP OG	11	JUNIPERUS X PFITZERIANA 'OLD GOLD'	OLD GOLD JUNIPER	3' HEIGHT	CONTAINER	EVERGREEN SHRUB
TM WA	7	TAXUS X MEDIA 'WARDII'	WARDS YEW	3' HEIGHT	CONTAINER	EVERGREEN SHRUB
NR WL	19	NEPETA RACEMOSA 'WALKER'S LOW'	WALKER'S LOW CATMINT	#1	CONTAINER	FLOWERING PERENNIAL

*TREES DENOTED ARE REPLACEMENTS FOR EXISTING TREES THAT WILL BE REMOVED.

LEGEND

PR DECIDUOUS TREE

PR DECIDUOUS FLOWERING TREE

PR DECIDUOUS FLOWERING SHRUB

PR EVERGREEN SHRUB

PR FLOWERING PERENNIAL

PR MULCH PLANTING BED LINE

EXISTING TREE TO REMAIN

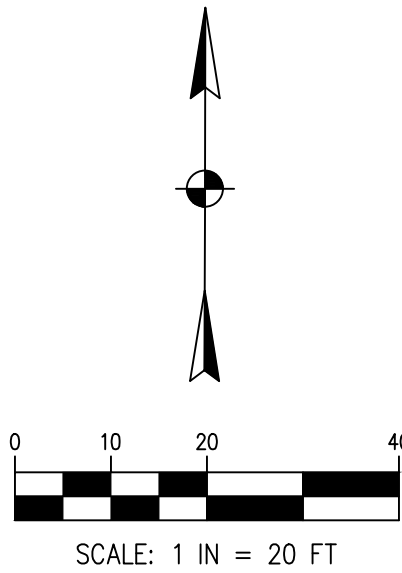
EXISTING SHRUB TO REMAIN

LANDSCAPE CODE REQUIREMENTS

REQUIRED:	PROVIDED:
1. GROVE CITY, OH CODE OF ORDINANCES, SECTION 1136: ALL TREES HAVING A TRUNK DIAMETER OF SIX INCHES OR GREATER AS MEASURED TWENTY-FOUR INCHES FROM GROUND LEVEL SHALL BE PRESERVED WITH FENCING PRIOR TO CONSTRUCTION AND/OR DESTRUCTION. ALL TREES SCHEDULED FOR REMOVAL SHALL BE MARKED BY THE SERVICE DIRECTOR, HIS DESIGNEE OR THE URBAN FORESTER. TREE BEING REMOVED: 10" DBH AMERICAN LINDEN IN GOOD CONDITION.	ONE REPLACEMENT TREE PROVIDED.
2. THERE SHALL BE A TREE PLANTED FOR EVERY 40 LINEAL FEET OF BUILDING PERIMETER OR FRACTION THEREOF. IN ADDITION, A MINIMUM OF 40 SF OF LANDSCAPED AREA SHALL BE REQUIRED FOR EACH 50 LINEAL FEET OF BUILDING PERIMETER OR FRACTION THEREOF. ADDITIONAL PROPOSED BUILDING PERIMETER = 450 LF. 11 TREES AND 360 SF REQUIRED.	11 DECIDUOUS TREES AND 910 SF OF LANDSCAPED AREA PROVIDED.
3. ALL SERVICE STRUCTURES SHOULD BE SCREENED PER SECTION 1136.08 OF THE CODE.	NO ADDITIONAL SERVICE STRUCTURES PROPOSED.

RELOCATED TREE NOTE

RELOCATED TREES TO BE WATERED AND TREATED THE SAME AS A NEW TREE DURING THE ESTABLISHMENT PERIOD. TREES CAN ONLY BE RELOCATED MARCH 16–MAY 16 OR SEPTEMBER 1–NOVEMBER 1.



DESCRIPTION

BY

DATE

NO

1160 DUBLIN ROAD
SUITE 100
COLUMBUS, OH 43215
TEL: 614.441.4222
FAX: 888.488.7940

PROJECT DATE: 08/21/2025
PROJECT NO: 2501014
DRAWN BY: MNF
CHECKED BY: NAF

TECHNICAL SKILL
CREATIVE SPIRIT.

www.MannikSmithGroup.com

PREPARED FOR:

THE MCKNIGHT GROUP
3351 MCDOWELL ROAD,
GROVE CITY, OH 43123

SITE IMPROVEMENT PLAN FOR

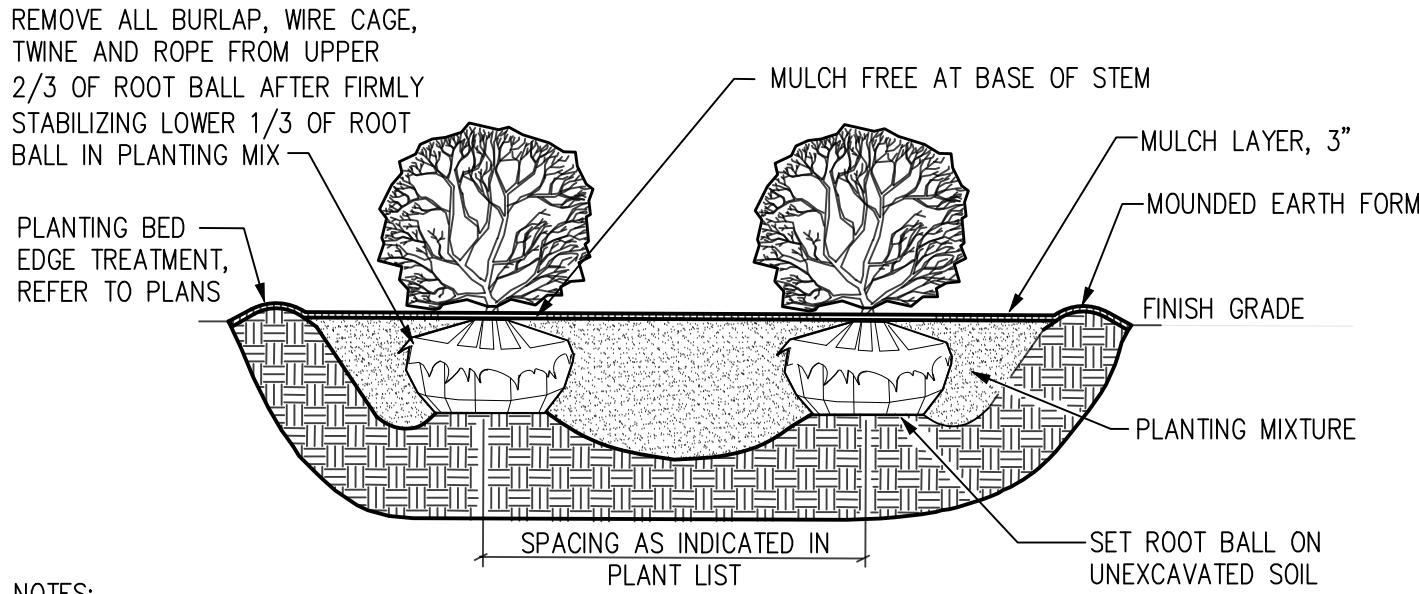
THE NAZ CHURCH
4770 HOOVER RD, GROVE CITY, OH 43123

LANDSCAPE PLAN

L100

LANDSCAPE PLANTING NOTES

1. THE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANTS AND VEGETATION PROPOSED ON THE LANDSCAPING PLAN. ANY TREES, SHRUBS, GROUND COVER OR OTHER VEGETATION PLANTED AS PART OF THIS PROJECT THAT DO NOT SURVIVE ONE YEAR FROM PLANTING SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL PERTINENT UTILITY COMPANIES THREE WORKING DAYS IN ADVANCE OF ANY DIGGING. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF ANY UTILITIES.
3. REFER TO THE LANDSCAPE PLAN FOR ADDITIONAL NOTES. LANDSCAPE IMPROVEMENTS SHALL CONFORM TO THE LATEST EDITION OF ODOT CONSTRUCTION SPECIFICATIONS.
4. ALL PLANTING MATERIALS: SHALL BE PLANTED PER ODOT SPECIFICATIONS. EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE BROKEN, LOW HANGING AND OTHER UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
5. PLANTING BEDS, ONE MONTH BEFORE CULTIVATION AND AFTER DAYTIME TEMPERATURES HAVE WARMED TO 60° CONSISTENTLY, TREAT ALL PLANTING BEDS THAT ARE TO BE DEVELOPED IN AREAS OF EXISTING TURF WITH PRE-EMERGENT AND POST-EMERGENT TYPE HERBICIDES. USE A STATE-LICENSED PESTICIDE APPLICATOR TO APPLY THE HERBICIDE. REPEAT HERBICIDE APPLICATION TWO WEEKS LATER AND UNTIL ALL HERBACEOUS MATERIALS HAVE BEEN KILLED. BEFORE PLANTING, TOP DRESS ALL PLANTING BEDS WITH A MINIMUM OF 6 INCHES OF BACKFILL MIX, THEN CULTIVATE PLANTING AREA TO A DEPTH OF 6 INCHES USING A PLOW, DISC, OR ROTO-TILLER.
6. BACKFILL MIX: FOR ALL PLANTINGS, USE BACKFILL MIX CONSISTING OF THE FOLLOWING:
A. ONE PART EXCAVATED SOIL.
B. ONE PART TOPSOIL.
C. ONE PART EPA RATED CLASS IV COMPOST.
D. A SLOW RELEASE COMMERCIAL FERTILIZER (0--20--20 OR EQUAL) ADDED AT A RATE OF 5 POUNDS PER CUBIC YARD TO THE BACKFILL MIX.
E. IF SOIL AREAS ARE OF HIGH PH (GREATER THAN 6.5), APPLY 1.25 POUNDS OF ELEMENTAL SULFUR PER CUBIC YARD OF BACKFILL MIX.
NOTE: CONTRACTOR SHALL SUPPLY A DETAILED SOIL ANALYSIS PRIOR TO ALL PLANT BED PREPARATION. ANALYSIS SHALL INDICATE SOIL PH, TEXTURE, MAJOR NUTRIENTS, SALTS, ETC. SOIL ANALYSIS SHALL BE FROM A REPUTABLE, INDEPENDENT LAB. SOIL AMENDMENTS SHALL BE INCORPORATED INTO BACKFILL/PLANT MIX AS RECOMMENDED BY THE INDEPENDENT LAB.
7. MULCH: SMOOTH AND SHAPE THE BACKFILL MIX TO FORM A SHALLOW BASIN SLIGHTLY LARGER THAN THE PLANTING HOLE. MULCH ALL PLANTING AREAS WITH A LAYER OF FINELY SHREDDED HARDWOOD BARK OF UNIFORM TEXTURE & SIZE. PLANTS GROUPED IN MASSES SHALL HAVE THE ENTIRE CONTIGUOUS PLANTING BED OR ISLAND MULCHED. USE SHREDDED HARDWOOD BARK AGED MIN. ONE YEAR. RAKE AND SMOOTH THE ENTIRE AREA OF THE PLANTING BEDS, MULCH TO A DEPTH OF 3 INCHES. AFTER MULCHING AND BEFORE WATERING, ADD A SLOW RELEASE COMMERCIAL FERTILIZER (12--12--12 OR EQUAL), IN GRANULAR FORM, TO THE TOP OF THE MULCH AT A RATE OF 5 POUNDS PER 1000 SQUARE FEET. DO NOT ALLOW FERTILIZER TO CONTACT THE STEMS, BRANCHES, ROOTS OR LEAVES.
8. PERIOD OF ESTABLISHMENT, BEFORE FINAL INSPECTION, PLACE ALL PLANTS, SEED ALL LAWNS, AND CARE FOR THEM FOR A PERIOD OF ESTABLISHMENT. THE PERIOD OF ESTABLISHMENT BEGINS IMMEDIATELY UPON COMPLETION OF THE PLANTING OPERATIONS AND CONTINUES UNTIL OCTOBER 1. THE MINIMUM PERIOD OF ESTABLISHMENT IS ONE GROWING SEASON, JUNE 1 THROUGH OCTOBER 1. DURING THE PERIOD OF ESTABLISHMENT, FOLLOW STANDARD HORTICULTURAL PRACTICES TO ENSURE THE VIGOR AND GROWTH OF THE TRANSPLANTED MATERIAL. WATER, REMULCH, RESTAKE, GUY, AND CULTIVATE AS NECESSARY. PERFORM AT LEAST TWO WEEDING AND MOWING PROGRAMS (AROUND TREES, GUY STAKES, SHRUBS, AND BED EDGES) OF SUCH INTENSITY AS TO COMPLETELY RID THE PLANTED AND MULCHED AREAS OF WEEDS AND GRASSES. BEGIN THE FIRST PROGRAM ON OR ABOUT JUNE 15 AND THE SECOND APPROXIMATELY 8 WEEKS LATER. ON OR ABOUT AUGUST 15, THE ENGINEER WILL INSPECT THE PLANTING AND SUPPLY THE CONTRACTOR WITH A LIST OF MISSING AND DEAD PLANTS AND THOSE THAT HAVE DIED BACK BEYOND NORMAL PRUNING LINES. REPLANT AS REQUIRED ACCORDING TO THE SPECIFICATIONS OF THE ORIGINAL MATERIAL. REPLACEMENT PLANTS ARE SUBJECT TO A NEW PERIOD OF ESTABLISHMENT. IMMEDIATELY REPLACE PLANTS PLANTED INITIALLY IN THE FALL THAT HAVE DIED BEFORE THE SPRING PLANTING SEASON. CARE FOR THE REPLACEMENT PLANTS DURING THE NEW ESTABLISHMENT PERIOD.
9. RESTORATION OF DISTURBED AREAS FOR NEW LAWN:
ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVEMENT OR LANDSCAPE PLANTING BEDS SHALL BE PREPARED FOR GRASS SEED AND SEEDED. LOOSEN RUTS AND WORK THE SOIL AREAS TO A MINIMUM OF 6" DEEP PRIOR TO FINE GRADING AND SEEDING WORK. AREAS TO RECEIVE GRASS SEED SHALL HAVE A MIN. 4" TOPSOIL PLACED, SEEDED AND A STRAW/MULCH BLANKET COVER PLACED OVER THE SEEDED AREAS PER ODOT SPECIFICATIONS. STRAW BLANKET COVER MUST BE FASTENED DOWN. NO LOOSE STRAW IS PERMITTED. FERTILIZE WITH ONE POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET WITH A SLOW RELEASE COMMERCIAL STARTER FERTILIZER (LESCO 18--24--12 OR EQUAL).
10. LANDSCAPE TREES, SHRUBS AND PERENNIAL WATERING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, DELIVERING, APPLYING, MEASURING AND SCHEDULING A SUFFICIENT AMOUNT OF WATER NECESSARY TO KEEP EACH PLANT IN A HEALTHY GROWING CONDITION THROUGHOUT THE PERIOD OF ESTABLISHMENT. THE CONTRACTOR SHALL APPLY 1" OF WATER PER WEEK TO ALL NEW PLANTS. THE CONTRACTOR SHALL INSTALL & MAINTAIN SUPPLEMENTAL DRIP WATERING TREE BAGS (SUCH AS 20 GALLON TREE GATOR WATER BAG) TO PROVIDE ADEQUATE, SLOW RELEASE OF WATER. WATER BAGS SHALL BE REMOVED AT THE END OF THE SECOND GROWING SEASON.
11. TURF GROUNDCOVER (SODDING, SEEDING AND SEED MULCHING):
ALL SEEDING INSTALLATION SHALL CONFORM TO ODOT SPECIFICATIONS AND NOTE 9 ABOVE. SEED AT 6 LBS/1000 SF WITH THE FOLLOWING SEED MIXTURE (ODOT LAWN BLEND):
- | | |
|-------------------------|-----|
| KENTUCKY 31 TALL FESCUE | 40% |
| PERENNIAL RYE | 30% |
| KENTUCKY BLUEGRASS | 30% |



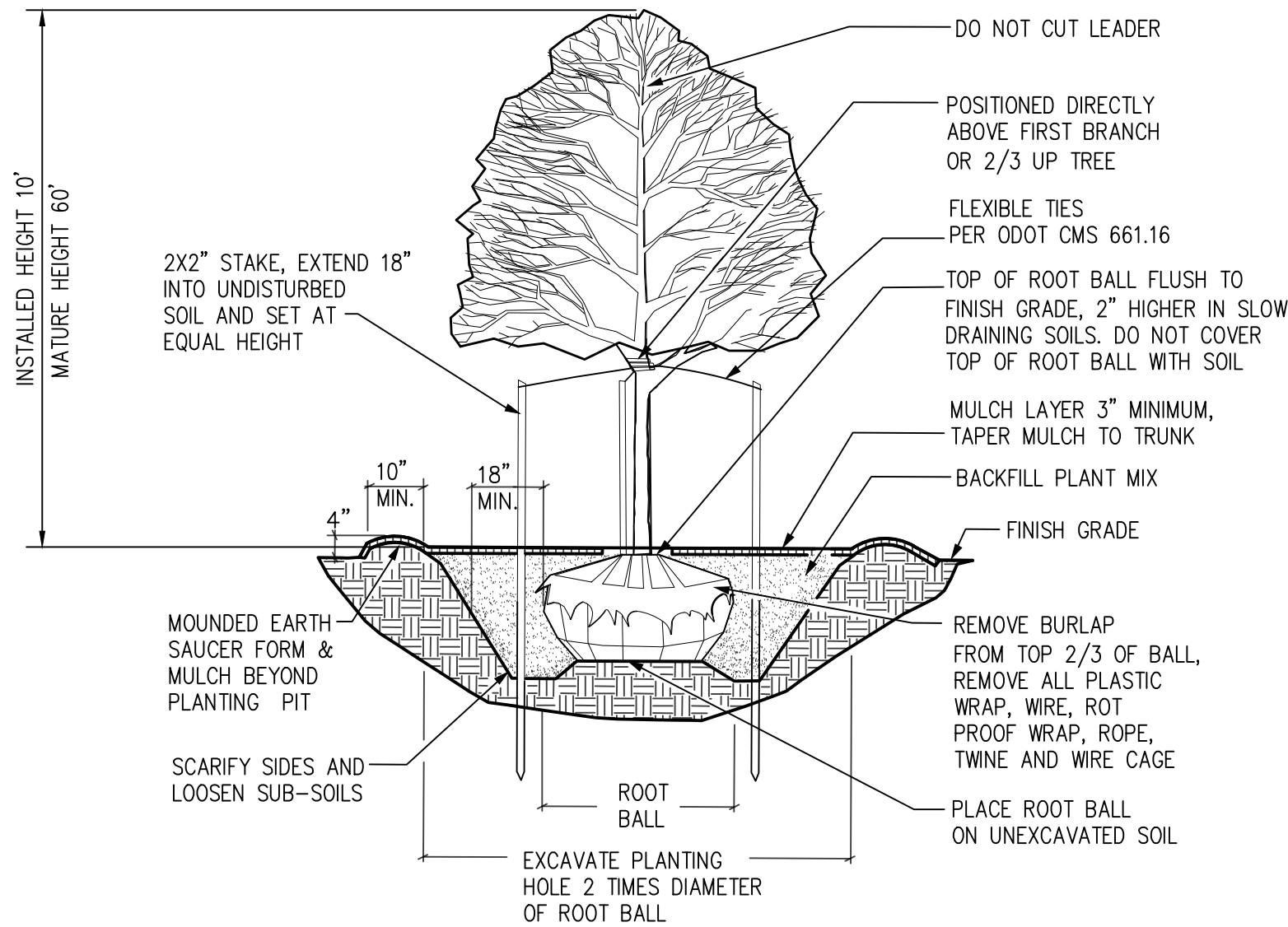
NOTES:

ALL SHRUBS PLANTED IN ROWS OR MASSES SHALL BE MATCHED IN SIZE AND FORM.

SHRUBS SHALL BEAR SAME RELATION TO FINISH GRADE AS THEY BORE TO EXISTING GRADE IN THE PREVIOUSLY PLANTED CONDITION.

MASS SHRUB PLANTING DETAIL (B&B OR CONTAINER)

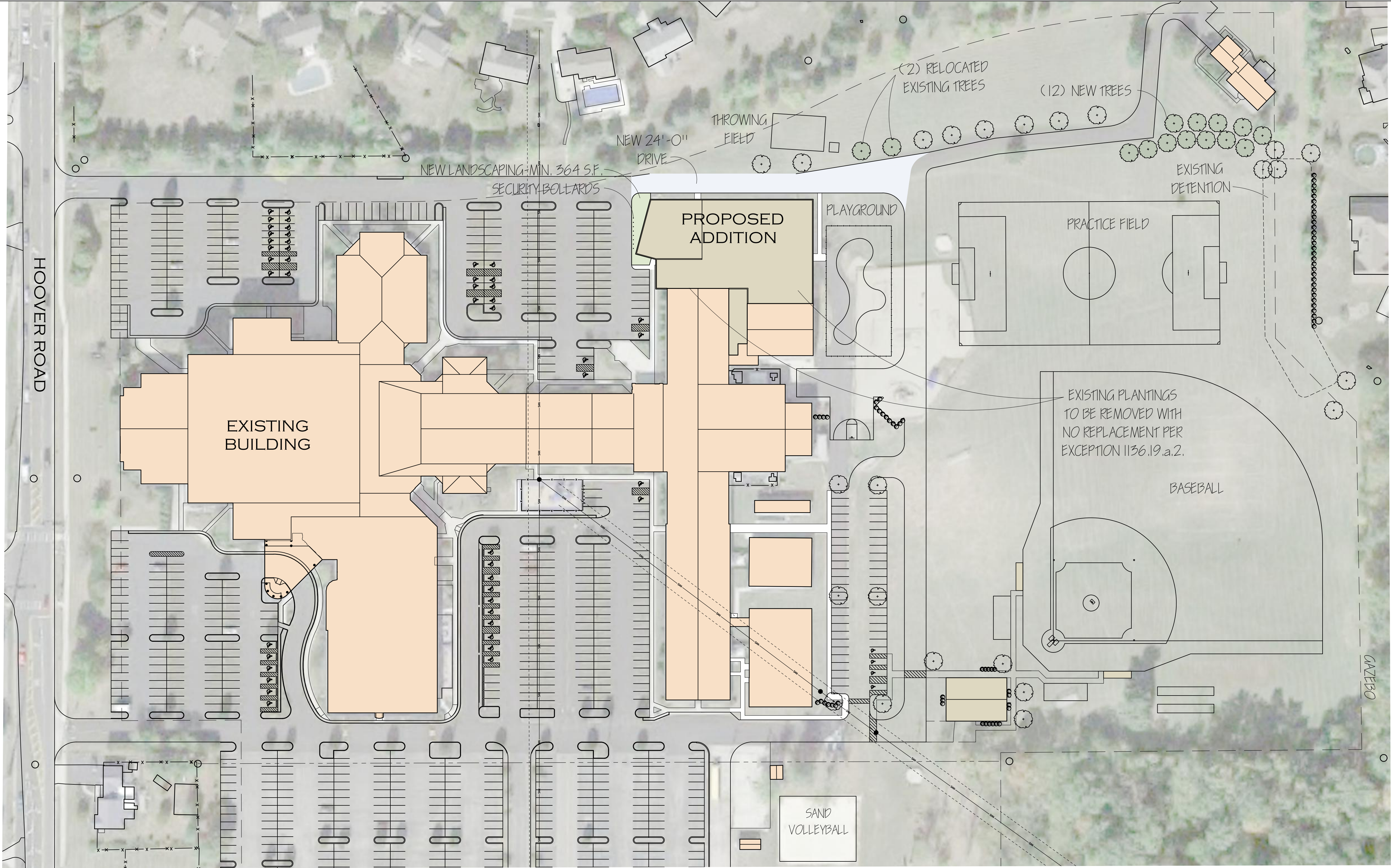
NO SCALE



DECIDUOUS TREE PLANTING DETAIL

NO SCALE

L101	LANDSCAPE NOTES & DETAILS	SITE IMPROVEMENT PLAN FOR THE NAZ CHURCH 4770 HOOVER RD, GROVE CITY, OH 43123	PREPARED FOR: THE MCKNIGHT GROUP 3351 MCDOWELL ROAD, GROVE CITY, OH 43123	 TECHNICAL SKILL. CREATIVE SPIRIT. 1160 DUBLIN ROAD SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 888.488.7940 PROJECT DATE: 08/21/2025 PROJECT NO: 2501014 DRAWN BY: MNF CHECKED BY: NAF	DESCRIPTION										
						NO	DATE	BY							



A1

SITE DEVELOPMENT PLAN

SCALE: 1" = 50'-0"

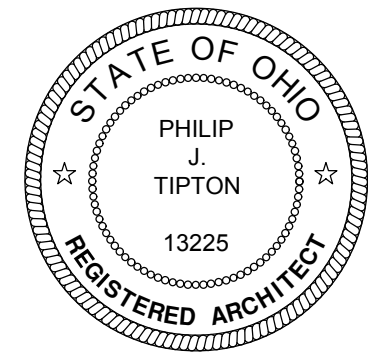
THIS PLAN IS FOR GENERAL REFERENCE ONLY.
FOR PROPOSED LANDSCAPING, REFER TO
LANDSCAPE DRAWINGS.
FOR CIVIL INFORMATION REFER TO CIVIL
DRAWINGS SUBMITTED SEPARATELY.

TOTAL ACREAGE = 54.0± ACRES
PROPERTY IS ZONED SD 1 (Grove City) & SURB
(JACKSON TWP.)

McKNIGHT & HOSTERMAN ARCHITECTS INC. ARE NOT
RESPONSIBLE FOR THE ACCURACY OF SITE
INFORMATION PROVIDED BY THE OWNER(S) AND/OR
THEIR AUTHORIZED REPRESENTATIVES.



McKnight & Hosterman Architects, Inc.
3351 McDowell Road
P.O. Box 370
Grove City, Ohio 43123
Phone: (614) 875-1689
Fax: (614) 875-7006
www.mcknightgroup.com



PHILIP J. TIPTON, LICENSE #13225
EXPIRATION DATE 12/31/2023

Architect is not responsible for any dimensions
scaled from drawings. Dimensions noted take
precedence.

ADDITION for:
**GROVE CITY CHRISTIAN
SCHOOL
- ADDITION**
4750 HOOVER RD.,
GROVE CITY, OH 43123

DRAWING

- ☒ PLANNING COMMISSION
SUBMISSION

☐
☐
☐
☐

REVISIONS

DATE

22 JUL 25

**ARCHITECTURAL
SITE
DEVELOPMENT
PLAN**

SD101

224438

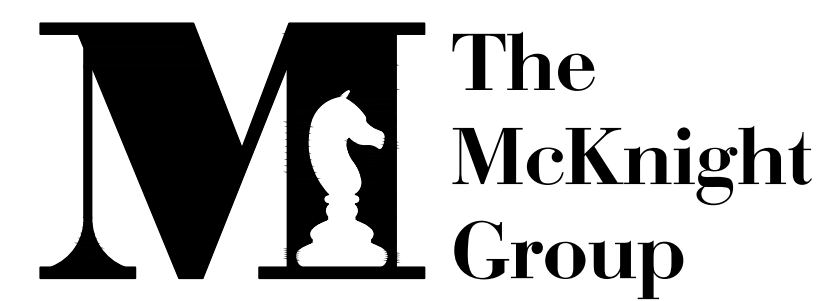
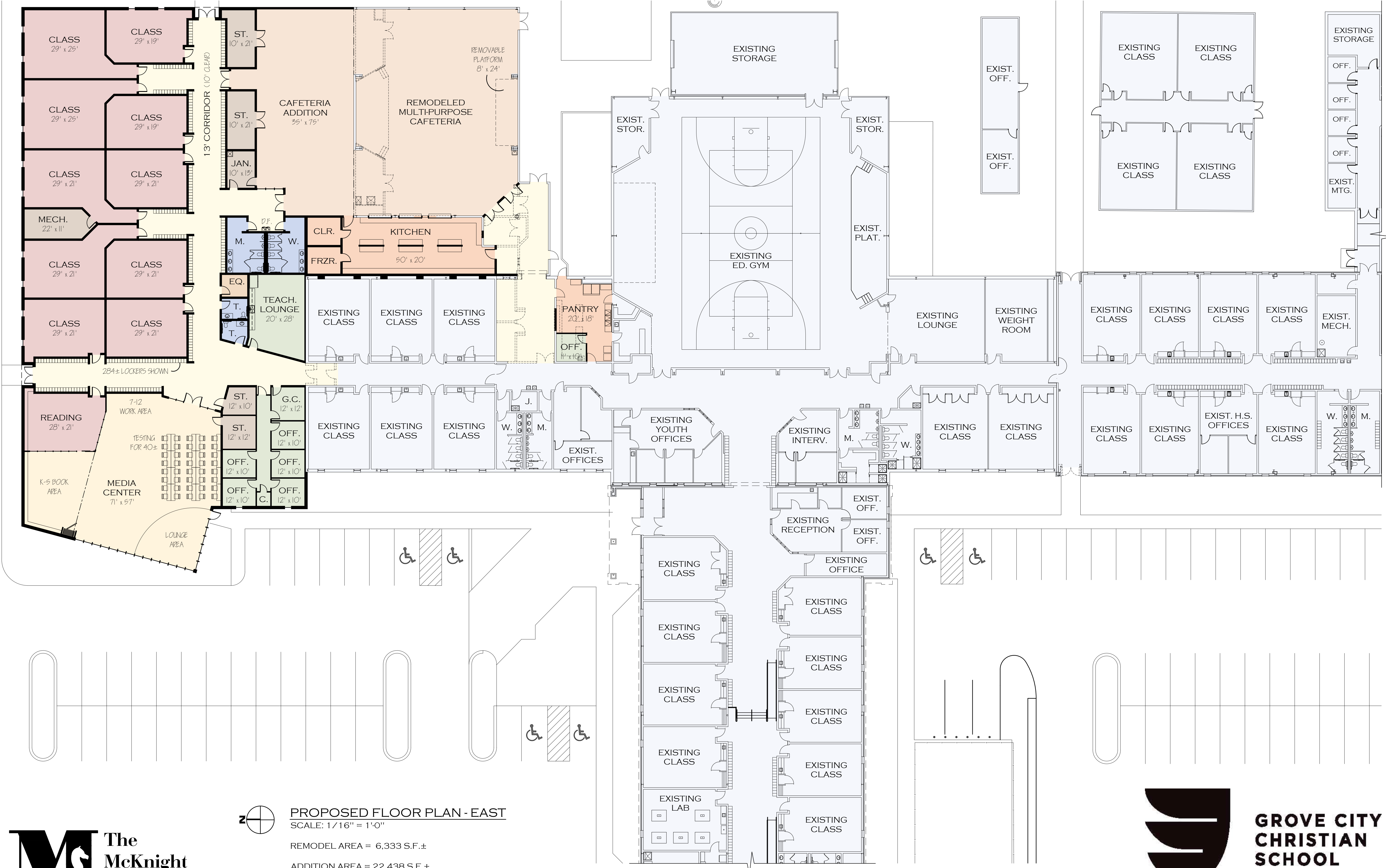
5

4

3

2

1



McKnight & Hosterman Architects, Inc.
 3351 McDowell Road P.O. Box 370 Grove City, Ohio 43123 Phone (614) 875-1889 Philip Jay Tipton NDAB Certificate No. 56503



APRIL 21, 2025 224438



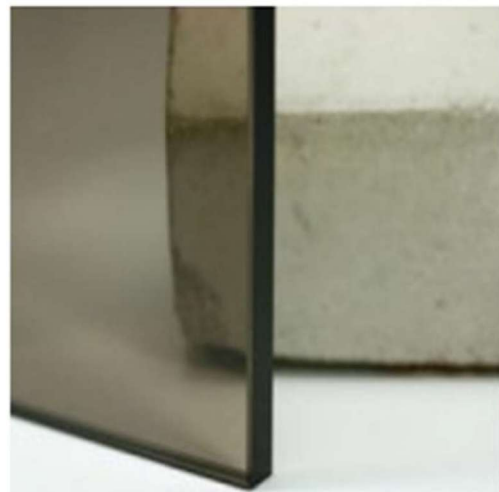
1 PROPOSED METAL PANEL



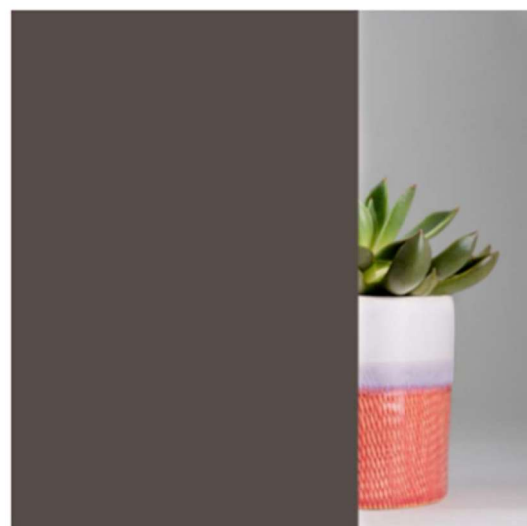
2 PROPOSED BRICK -MATCH EXISTING



3 PROPOSED GLAZING VITRO SOLARBRONZE WITH SOLARBAN CLEAR



4 PROPOSED BRONZE SPANDREL GLASS



6 PROPOSED METAL ROOFING ULTRA-DEK FINISH TO MATCH EXISTING



The Ultra-Dek® roof panel is a snap-together, trapezoidal leg standing seam roof system. Ultra-Dek® panels are available in 12-inch, 18-inch and 24-inch widths. Ultra-Dek® requires a minimum slope of 3/4:12 and is ideal for industrial, commercial and architectural applications. Ultra-Dek® can be erected on various types of construction.

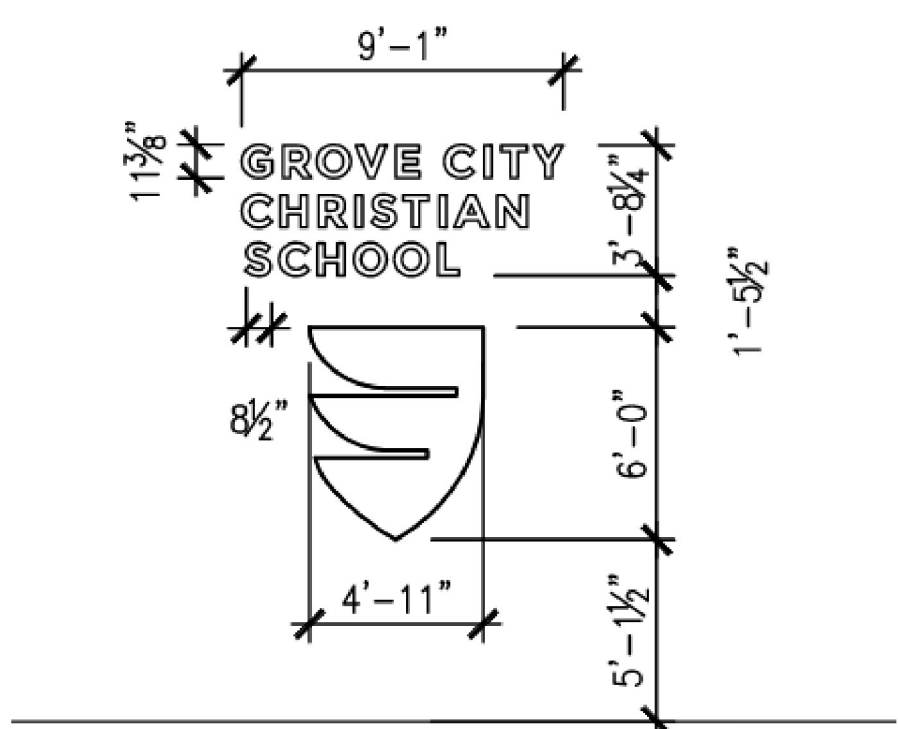
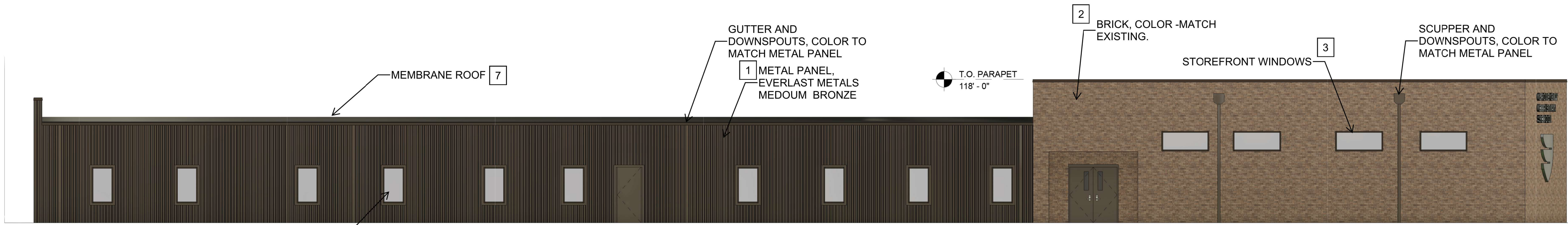
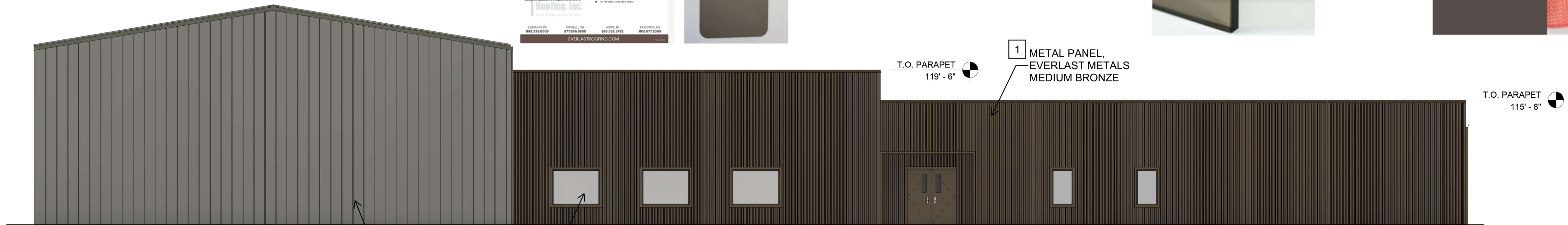
Product Specifications

- Application: Roof
- Coverage Widths: 12", 18", 24"
- Minimum Slope: 3/4:12
- Panel Attachment: Concealed Fastening System, Low, High (fixed or sliding)
- Gauges: 24 (standard); 22, 26 (optional)
- Finishes: Smooth (standard); Embossed (optional)
- Coatings: Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

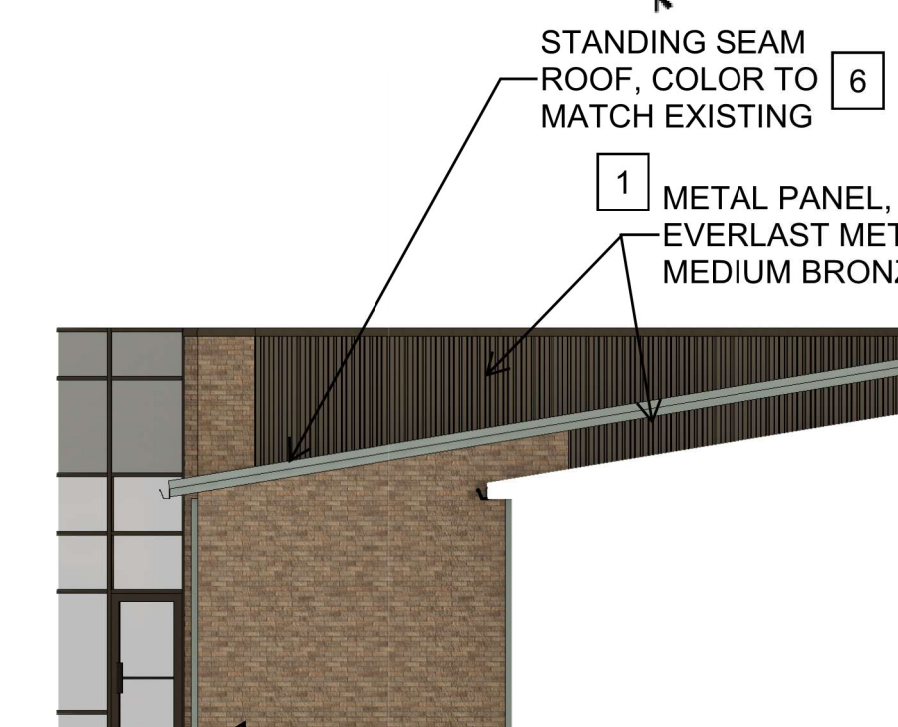
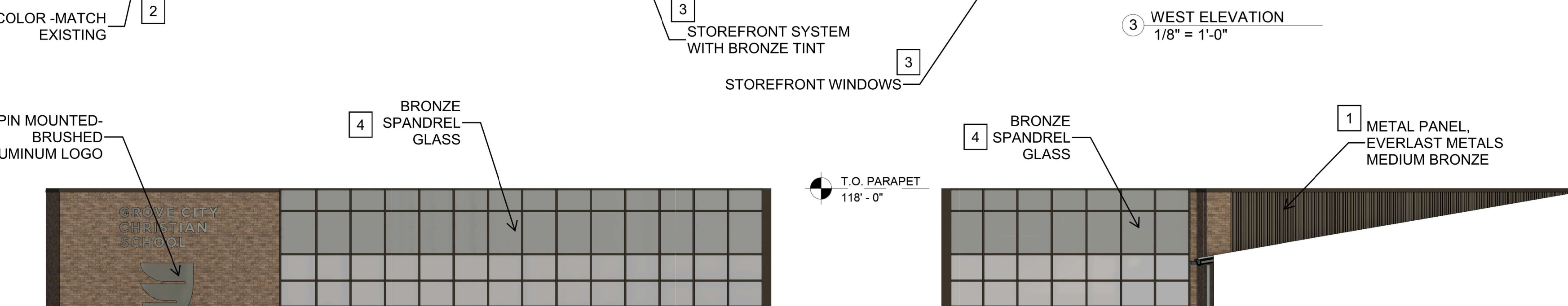
7 PROPOSED MEMBRANE ROOF



Systems Components Technical Documents Resources Applications About Contact

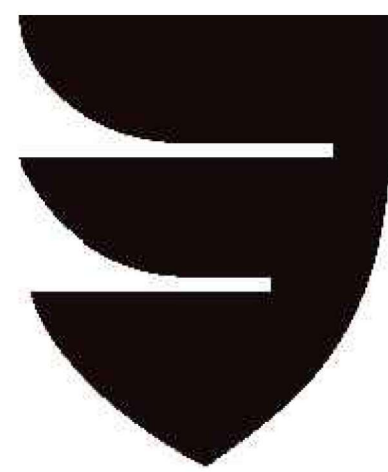


5 PROPOSED 29.74 S.F. OF BRUSHED ALUMINUM LETTERS AND LOGO



McKnight & Hosterman Architects, Inc.

3351 McDowell Road P.O. Box 370 Grove City, Ohio 43123 Phone (614) 875-1889 Philip Jay Tipton NCARB Certificate No. 56503



GROVE CITY
CHRISTIAN
SCHOOL



The City of Grove City, Ohio

4035 Broadway • Grove City, Ohio 43123
(614) 277-3000

8/14/25

Eric Walsh, Korda Nemeth Engineering
1650 Watermark Drive
Columbus, OH 43215

Via email: Eric.Walsh@Korda.com

Dear Mr. Walsh,

Staff have reviewed your application for Church of the Nazarene Final Development Plan, in Grove City, Ohio. The control number for this application is #202507290023 and should be referenced on any future correspondence concerning this matter.

Having compiled the comments/recommendations provided to the Development Department from our various departments, we request the following information or corrections.

General

1. Plans show removing 8 parking spaces to accommodate the new addition. Please update the narrative to address whether the existing parking areas will be sufficient to accommodate the proposed addition. **Narrative has been updated.**
2. Code requires that all vehicular and pedestrian areas be illuminated to a minimum of 0.5 footcandles. This requirement is currently not met. If these areas are to be used after dusk, additional fixtures will need to be added to meet this requirement. **Photometric plan being updated**

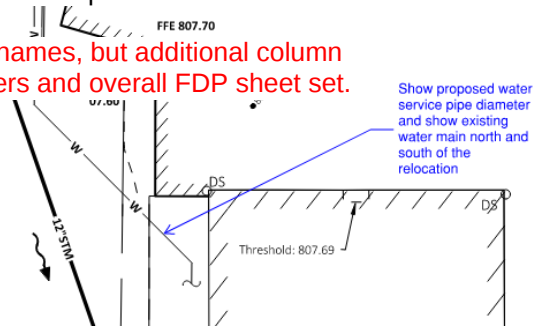
Landscaping

3. A landscape plan was not included with the submitted materials and will need to be provided. **Landscape plan will be provided**
4. A tree inventory listing all trees 6" dbh or larger, listing genus name, size, condition of the tree and whether the tree is to be removed or preserved as part of the project is required. **Tree inventory will be provided**
5. Please clarify the reference to 1136.19.a.2 marked on the plans regarding not replacing trees removed from the existing building, as this section does not exist in the City Code. Please note that the only exceptions provided in the Educational District are for irrigation adjacent to the structure per Section 1136.09(3). **Reference has been removed.**
6. Per section 1136.09(a)(3), additional landscape beds will need to be added, as 360 square feet of landscape beds are required by code (40 sq. ft per each 50 lineal feet of building area). Landscape bed areas are to contain shrubs, ground cover, or other ornamental plantings. **Will be provided**
7. Details are needed on the landscaping proposed around the building. Per code, 11 trees are required to be planted around the perimeter of the building. **Trees will be provided.**
8. A tree preservation plan is needed to show how existing trees that will not be moved during construction will be protected. **Will be provided**
9. Any proposed irrigation should be shown on the landscape plan or separate sheet. **No irrigation is proposed at this time.**
10. Please note that all trees being removed as part of this project must be replaced on the site. **Will comply.**

11. Please clarify the location of the existing trees being relocated to the northern side of the drive near the throwing field. **Will comply.**
12. Details need to be provided for all proposed plantings on site, including trees. Information should include the type of planting, species, and size at the time of planting. **Will comply.**
13. The plans should include a note stating that all service structures should be screened per section 1136.08 of the code. **Will comply.**
14. When seeding disturbed areas, please be advised that no loose straw may be used to cover the seed. Penn mulch or fastened-down straw matting can be used. Please add a note on the plans stating this. **Will comply.**

Engineering

15. Please clarify the title for sheets C101 and C102. These sheets are currently identified as “staking plan” and “staking detail”. The titles will need to correspond with the Sheet Index on the cover page. Please update in both locations if applicable. **Title Sheet index matches plan sheet names, but additional column added to hopefully clarify sheet numbers and overall FDP sheet set.**
16. Include sheet reference number on future plans when available. See on General Notes #6 on page C201 and General Notes #4 on C301. **Will comply in engineering submission.**
17. On pages C201 and C301, show the proposed water service pipe diameter and the existing water main north and south of the relocation. **Complied.**
18. On sheet C301, show storm structure 1 (catch basin?) in the legend. **Complied.**
19. Show square footage of the proposed addition on page C101. **Complied.**
20. Include a site data table on the Title Sheets with information listed below: **Complied.**
 - a. Total Area (ac)
 - b. Disturbed Area (ac)
 - c. Added Public ROW (ac)
 - d. Existing Impervious (ac)
 - e. Proposed Impervious (ac)
 - f. Building Area
 - g. Critical Storm
21. Show the 12” storm line on the index map. **Complied.**
22. Show utilities and features in a legend on page TS1.2 Topographic/Utility Survey. **Complied.**
23. Call out Benchmarks 2 and 4 on the Index Map. **Removed.**
24. Include PE stamp and signature on Title Sheet. **Complied.**
25. Remove “Match Line See Sheet TS1.1” text from page TS1.2 Topographic/Utility Survey, as the reference page is not part of the plan sheets. **Complied. Revised survey included**
26. Please clarify if the proposed addition will remove the existing downspouts. **Downspouts along east "metal pole-barn style" building will be routed to the addition roof.**
27. The topographic/utility survey provided appears to show conditions before the phase 1 construction occurred. If possible, this survey should show current conditions. **Complied**



Stormwater

28. Please see the attached stormwater report PDF with markups. Please note that these comments do not need to be addressed as part of the revised plans but will need to be completed during the Site Improvement Plan review. **Will comply.**

Additional Comments

29. Please note that signage will be reviewed and approved under a separate sign permit through the Building Division. **Will comply.**
30. Please be aware that any relocation of the fire line associated with this addition will require testing of the entire fire loop. **Will comply.**
31. The title on the cover does not match the title in the title block on the plan sheets.
Complied.

Please revise your materials accordingly and resubmit with a response letter indicating how each issue noted was addressed by 12:00pm on August 21st, 2025. This will allow us time to review the revisions prior to finalizing the agenda for the September Planning Commission meeting. If for any reason you feel a meeting with staff is warranted prior to the meeting, please contact me as soon as possible to arrange a date and time. If revisions cannot be submitted by the above deadline, the Development Department will recommend that this application be postponed until the October Planning Commission meeting; however, if the above deadline is met, staff will recommend that your application be heard as described below.

Planning Commission will hear your request on Tuesday, September 2nd, 2025 at 1:30 p.m. in the Council Chambers of City Hall at 4035 Broadway Grove City, Ohio 43123. Your request will be postponed to a future date if you are unable to attend the meeting. **Additionally, one full set of all materials to be reviewed by Planning Commission must be submitted, including one full size set of all plan sheets by August 27th** to remain on the September Planning Commission meeting agenda.

If you have any questions or need additional information, please call me at (614) 277-3022 or email tbarr@grovecityohio.gov.

Sincerely,



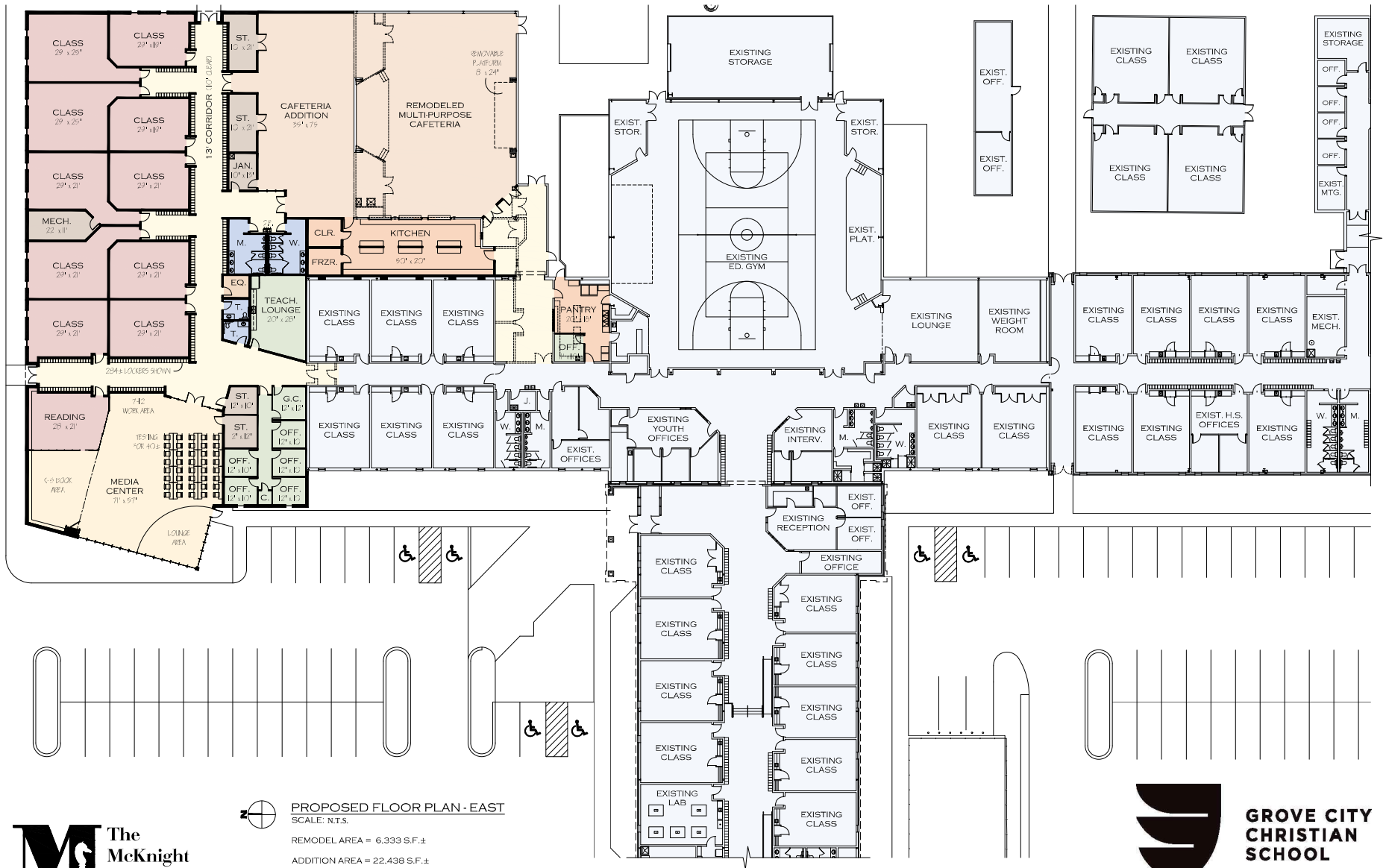
Terry Barr, AICP
Development Planner



August 19, 2025

RE: Grove City Christian School – Proposed Addition

The school would like to provide 21,853 s.f. of additional Classroom space to accommodate the demand for more students. This addition will increase the current Cafeteria seating capacity and provide a larger Commercial Kitchen. As part of the addition, there will be a new Media Center and additional Office space. The Media Center will be a multi-use space that serves as the new library and doubles as a dedicated testing area. As needed occasionally throughout the school year. 8 parking spaces will be lost as part of this addition, however, more than enough parking is still available on site for the school expansion.

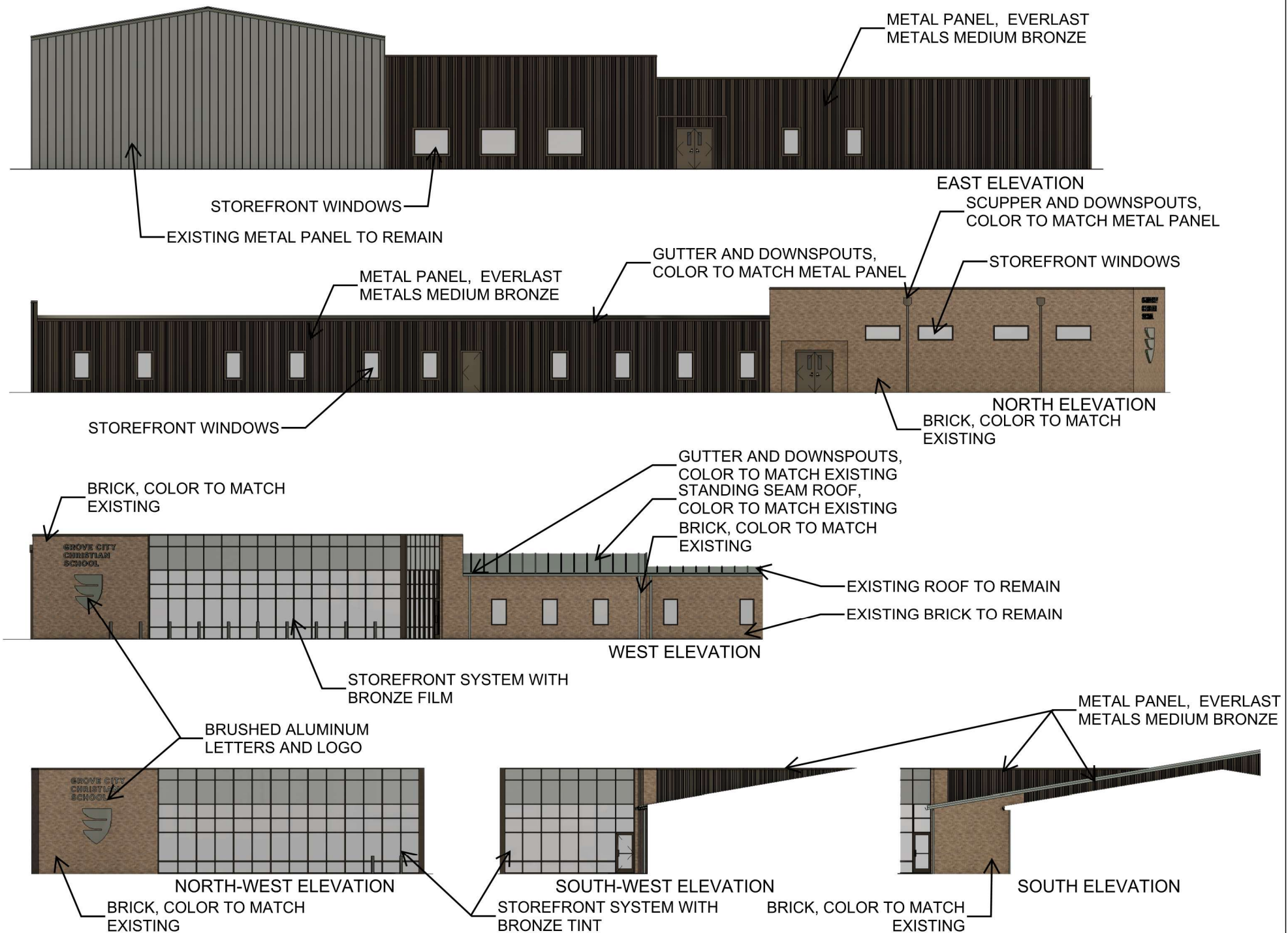


McKnight & Hosterman Architects, Inc.
 3301 McDaniel Road P.O. Box 370 Grove City, Ohio 43123 Phone (614) 875-1489 Fax (614) 875-1490



APRIL 21, 2025

224436





GROVE CITY CHRISTIAN SCHOOL ADDITION FINISHES.

7/29/2025

PROPOSED BRICK

METAL WALL PANEL, TRIM, AND GUTTERS

MEDIUM BRONZE TO MATCH EXISTING

PBR

Standard Specifications

- Structural Steel Grade 80 produced in conformance with ASTM 792
- 50,000 PSI minimum yield
- Custom cut to the inch up to 40'
- Available in a variety of colors

Description

Attractive Design
The PBR Panel is designed for both roofing and siding applications. This panel is excellent for most any exterior use, including industrial, commercial, and agricultural applications. The PBR Panel can also be used as an interior liner panel. The PBR Panel is manufactured in an uncoated, galvalume 30-gauge substrate in both 24 and 26 gauge. A painted 26 gauge galvalume substrate is also available in a variety of colors.

Superior Strength
The PBR Panel provides optimum strength, which is ideal for maximum spanning capabilities and for weather-tight side lap joints for applications on roof patches as low as a 1:12.

UL Ratings

- UL 2218 Class 4 IMPACT RESISTANCE
- UL 790 Class A FIRE RESISTANCE

PBR Panel
30" Gauge Depth
16" Width
Cross section view of PBR L & A Panel

PBR - Siding Beige

SERIES	26 GAUGE
SUBSTRATE	Galvalume or Galvalume
FINISH	Synergy™
FILM INTEGRITY	40 Years
FADE/CHALK	30 Years
PERFORMANCE	25 Years Superior KPS

Roofing, Inc.
OUR NAME SAYS IT ALL

LEBANON, PA 888.339.0059	ORWELL, OH 877.866.9955	HOWE, IN 866.562.3782	BRIDGTON, ME 800.677.2060
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EVERLASTROOFING.COM

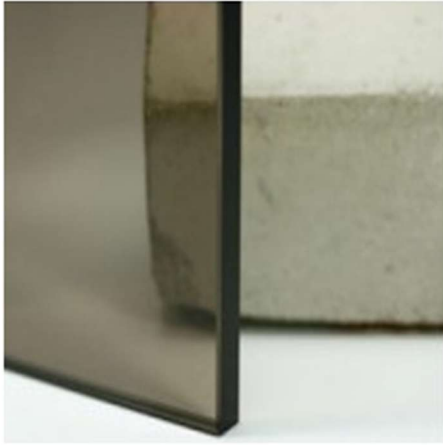


BRICK IS TO MATCH THE EXISTING BRICK.



PROPOSED GLAZING

VITRO SOLARBRONZE WITH SOLARBAN CLEAR

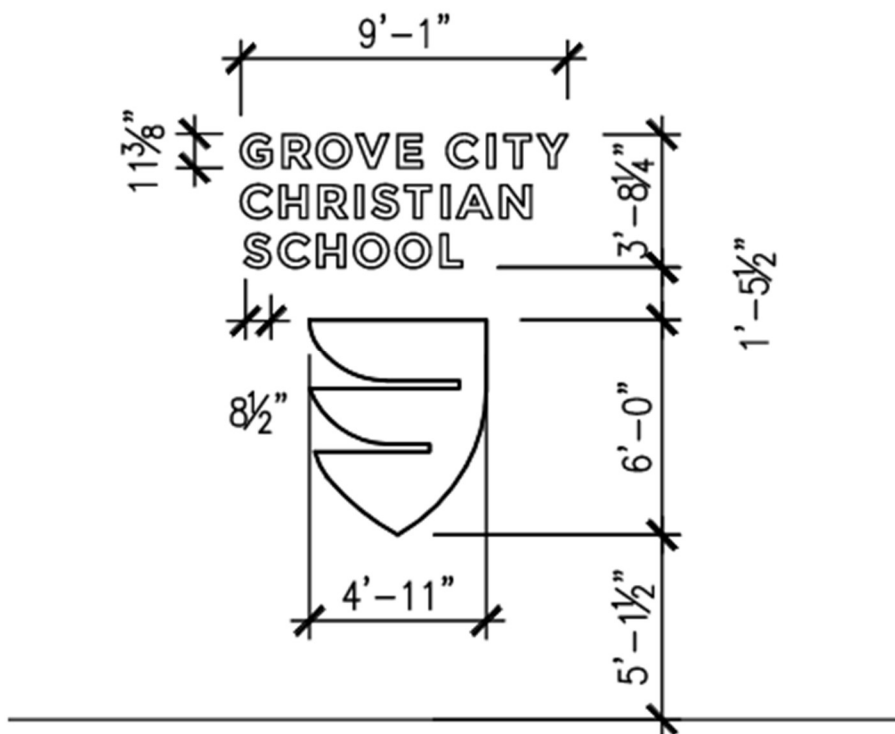


PROPOSED SPANDREL GLAZING



SCHOOL NAME AND LOGO TO BE ILLUMINATED BY A GROUND MOUNTED SPOTLIGHT.

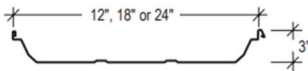
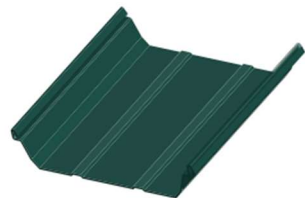
29.74 S.F. OF BRUSHED ALUMINUM PIN MOUNTED LETTERS AND LOGO.



METAL ROOFING

MBCI ULTRADECK ROOF TO MATCH EXISTING STARSHIELD ROOFING ON THE WEST FACADE

ULTRA-DEK®



The Ultra-Dek® roof panel is a snap-together, trapezoidal leg standing seam roof system. Ultra-Dek® panels are available in 12-inch, 18-inch and 24-inch widths. Ultra-Dek® requires a minimum slope of ¼:12 and is ideal for industrial, commercial and architectural applications. Ultra-Dek® can be erected on various types of construction.

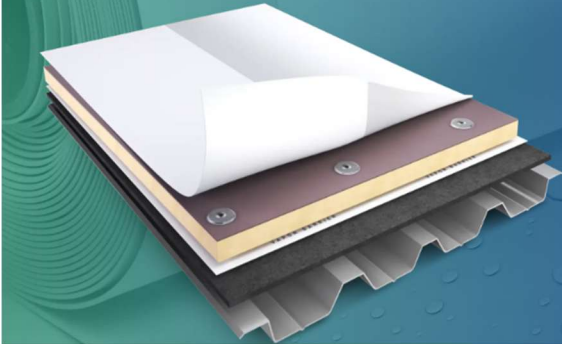
Product Specifications

- **Application:** Roof
- **Coverage Widths:** 12", 18", 24"
- **Minimum Slope:** ¼:12
- **Panel Attachment:** Concealed Fastening System, Low, High (fixed or sliding)
- **Gauges:** 24 (standard); 22, 26 (optional)
- **Finishes:** Smooth (standard); Embossed (optional)
- **Coatings:** Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

TPO MEMBRANE ROOFING



[Systems](#) [Components](#) [Technical Documents](#) [Resources](#) [Applications](#) [About](#) [Contact](#)



DURO-LAST® PVC ROOFING MEMBRANE

The custom-fabricated flagship membrane with more than four decades of proven performance

Date: 09/09/25
Introduced By: Mr. Holt
Committee: Finance
Originated By: Mr. Turner
Approved: Mr. Boso
Emergency: 30 Days
Current Expense: _____

No.: CR-40-25
1st Reading: 09/15/25
Public Notice: _____
2nd Reading: _____
Passed: _____ Rejected: _____
Codified: _____ Code No: _____
Passage Publication: _____

RESOLUTION NO. CR-40-25

A RESOLUTION ACCEPTING THE AMOUNTS AND RATES AS DETERMINED BY THE BUDGET COMMISSION AND AUTHORIZING THE NECESSARY TAX LEVIES AND CERTIFYING THEM TO THE COUNTY AUDITOR

The Council of the City of Grove City, Franklin County, Ohio, met in regular session on the fifteenth day of September, 2025, at the office of Council with the following members present:

Melissa Anderson
Ted A. Berry
Jodi Burroughs
Rodney Dew
Randy Holt
Christine Houk
Anthony Wilson

Mr. Holt moved for the adoption of the following Resolution:

WHEREAS, this Council in accordance with the provisions of law has previously adopted a Tax Budget for the next succeeding fiscal year commencing January 1, 2026; and

WHEREAS, the Budget Commission of Franklin County, Ohio, has certified its action thereon to this Council together with an estimate by the County Auditor of the rate of each tax necessary to be levied by this Council, and what part thereof is without, and what part within the ten mill tax limitation.

NOW, THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. The amounts and rates, as determined by the Budget Commission in its certification, be and the same are hereby accepted.

SECTION 2. There be and is hereby levied on the tax duplicate of said City the rate of each tax necessary to be levied within and without the ten mill limitation for tax year 2025 (collection year 2026) as follows:

SCHEDULE A

FUND	Limitation	Amount to be Derived from Levies Outside 10 Mill	Amount Approved by Budget Commission Inside 10 Mill	County Auditor's Estimate of Full Tax Rate to Be Levied	
				Inside 10 Mill	Outside 10 Mill
		Limitation	Limit	Limit	
General Fund			\$1,816,978.57	1.00	
General Fund Charter	\$ 545,093.57				0.30
Bond Retirement					
Bond Retirement Charter	\$1,816,432.61		\$ 727,337.19	0.40	1.00
Police Pension			\$1,453,582.86	0.80	
Police Operating					
Fire Pension					
Fire Operating					
Police/Fire Pension					
Capital Improvement Charter					
					TOTAL
	\$2,361,526.18	\$3,997,898.82	2.20	1.30	

SECTION 3. The Clerk of Council be and is hereby directed to certify a copy of this Resolution to the County Auditor of said County.

SECTION 4. This resolution shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Richard L. Stage, Mayor

Passed:
Effective:

Attest: _____
Tami K. Kelly, MMC, Clerk of Council

I Certify that this resolution
is correct as to form.

Stephen J. Smith, Director of Law

Date: 09-09-25
Introduced By: Mr. Holt
Committee: Finance
Originated By:
Sponsor : Council
Emergency: 30 Days:
Current Expense:

No.: CR-41-25
1st Reading: 09-15-25
Public Notice:
2nd Reading:
Passed: Rejected:
Codified: Code No:
Passage Publication:

RESOLUTION CR-41-25

A RESOLUTION TO APPOINT MEMBERS TO THE BOARD OF TAX REVIEW

WHEREAS, Section 194.21 of the Codified Ordinances establishes a Board of Tax Review for the purpose of hearing appeals from any income tax ruling or decision at the request of the taxpayer; and

WHEREAS, the Mayor shall appoint one member; and

WHEREAS, City Council is required to appoint two members; and

WHEREAS, the Council appointees to the Board of Tax Review may not be employees, elected officials, or contractors with the City at any time during their term or in the five (5) years immediately preceding the date of appointment.

NOW, THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. This Council hereby appoints Michael Farnsworth and Cindi Sgalla to the Board of Tax Review.

SECTION 2. These appointments shall be a two (2) year term.

SECTION 3. This Resolution shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Passed:

Richard L. Stage, Mayor

Effective:

Attest:

Tami K. Kelly, MMC, Clerk of Council

I Certify that this Ordinance
is correct as to form.

Stephen J. Smith, Director of Law

Date: 09/09/25
Introduced By: Mr. Holt
Committee: Finance
Originated By: City Clerk
Sponsored:
Emergency: 30 Days:
Current Expense:

No.: CR-42-25
1st Reading: 09/15/25
Public Notice:
2nd Reading:
Passed: Rejected:
Codified: Code No:
Passage Publication:

RESOLUTION NO. CR-42-25

A RESOLUTION APPOINTING MEMBERS TO THE BEULAH PARK NEW COMMUNITY AUTHORITY

WHEREAS, Council established the Beulah Park New Community Authority by Resolution CR-27-19, on June 17, 2019; and

WHEREAS, under the provisions of this Resolution, City Council must appoint four (4) members to said Committee; and

WHEREAS, the following members have agreed to be appointed as follows:

Ted Berry	Two Year Term	2025 – 2027
Ed Ritterbeck	Two Year Term	2025 – 2027

NOW, THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GROVE CITY, STATE OF OHIO, THAT:

SECTION 1. There are hereby appointed to the Beulah Park New Community Authority, the members outlined in the preamble.

SECTION 2. This resolution shall take effect at the earliest opportunity allowed by law.

Christine Houk, President of Council

Passed:
Effective:

Richard L. Stage, Mayor

Attest:

Tami K. Kelly, MMC, Clerk of Council

I Certify that this resolution is correct as to form.

Stephen J. Smith, Director of Law